



Example Drawings
**PRELIM
WORKING
DRAWINGS**

Project Type

Direct Client - Single Storey - New Build

INCLUDED DRAWINGS

3D External Views
Site Plan including Area Plan
Floor Plan
Dimensioned Floor Plan
Window and Door Schedules
External Elevations
Building Sectional Views
Electrical Plan
Floor Finishes Plan
Internal Elevations

2 rounds of revisions included

DRAWING REGISTER

| SHEET NO. | SHEET NAME | REV. | DATE |
|-----------|----------------------------|------|------|
| 0.00 | COVER SHEET | C | 2023 |
| 0.11 | GENERAL NOTES | C | 2023 |
| 1.01 | SITE PLAN | C | 2023 |
| 2.01 | GROUND FLOOR PLAN | C | 2023 |
| 2.03 | DIMENSIONED FLOOR PLANS | C | 2023 |
| 2.04 | WINDOW & DOOR SCHEDULES | C | 2023 |
| 3.01 | ELEVATIONS | C | 2023 |
| 3.02 | ELEVATIONS | C | 2023 |
| 3.11 | BUILDING SECTIONS | C | 2023 |
| 4.01 | GROUND FLOOR ELECTRICAL | C | 2023 |
| 4.21 | GROUND FLOOR FINISHES PLAN | C | 2023 |
| 5.01 | INTERNALS | C | 2023 |
| 5.02 | INTERNALS | C | 2023 |
| 5.03 | INTERNALS | C | 2023 |
| 5.04 | INTERNALS | C | 2023 |



1 3D External View - Front



2 3D External View - Side

Project Address

Project Name

PROPOSED NEW RESIDENCE

Client Name

| Rev | Date | Description |
|-----|------|---------------------------|
| A | 2023 | SKETCH CONCEPT DESIGN |
| B | 2023 | DETAILED CONCEPT DRAWINGS |
| C | 2023 | PRELIM WORKING DRAWINGS |

Description

SKETCH CONCEPT DESIGN
DETAILED CONCEPT DRAWINGS
PRELIM WORKING DRAWINGS

| Drawn | Checked |
|-------|---------|
| JAZZ | JAZZ |
| JAZZ | JAZZ |
| JAZZ | JAZZ |

Job Number

Staged Plans

PRELIM WORKING DRAWINGS

Drawn by Checked by
JAZZ

Sheet 0.00

Revision C

Date
2023

Scale 1 : 50

GENERAL NOTES

GENERAL NOTES

/ Copyright of Jazz Designs Pty Ltd
 / Drawings shall be read in conjunction with all project consultant drawings / reports and any other project documents.
 / All dimensions are in millimetres.
 / Figured dimensions take preference to scale and are to structure not to finish.
 / Do not scale drawings.
 / Contractor to confirm all dimensions and levels on site prior to commencing any work or ordering materials.
 / Work shall comply with the Building Code of Australia (BCA), Building Act Qld, Queensland Development Code (QDC), local authority requirements, and all relevant Australian Standards (AS). Any outdated Standards listed in these notes are to be taken to refer to the current edition.
 / No work shall be undertaken prior to approval by a registered certifier and all necessary approvals / permits.
 / All proprietary materials shall be used and fixed strictly in accordance with manufacturer's written instructions for use under the conditions applicable.
 / It is at the builder's discretion to position bulkheads or service panels to under floor framing to accommodate plumbing/electrical services.
/ All structural details to engineers specifications, taking precedence over these plans.

SITE WORKS

/ Foundations, footings and concrete slabs to be in accordance with geotechnical report and engineer's specifications, and AS2870 - Residential floorings and slab code, and must comply with the QBCC's policies.
 / The finished ground immediately surrounding the residence shall fall away from the residence at a slope of not less than 50mm over the first 1m, and to a point where ponding will not occur near the building to comply with BCA Vol 2 Clause 3.1.2.3.
 / Surface drains to be provided by owner to facilitate drainage of water away from building into drainage system.

DESIGN LOADS

/ All timber member sizes, bracing and tie down schedules are deduced from AS1684.2.
 / All other sizes of items are deduced from the relevant Australian Standard, BCA or relevant manufacturer's specification.
 / Substitution of any structural members and/or variations to any part of the design will void any responsibilities of Jazz Design Pty Ltd for the structural integrity and performance of the building.

MATERIALS AND CONSTRUCTION

/ As applicable - refer to drawings for materials to be used.
 / All materials shall be new unless noted otherwise. Reused items to be checked for soundness, etc, prior to use.

REINFORCED CONCRETE

/ Concrete to be in accordance with AS3600 - Concrete Structures Code and AS1379 - ready mixed concrete.
 / Strength of concrete at 28 days to be 20MPa for both footings and slabs.
 / Max. Aggregate size shall be 20mm.
 / Sample and test concrete in accordance with AS3600. Consolidate by vibration.
 / Termite protection to underside of slabs in accordance with AS3660, to be installed by accredited installers.
 / Reinforcement to be installed as per engineer's specifications. Correct cover to be obtained using plastic chairs, concrete blocks or plastic tipped steel chairs.
 / Thoroughly scabble concrete on which new concrete is to be poured.
 / Remove all topsoil and upper strata containing organic material prior to pouring foundations. Replace with approved consolidated fill compacted in accordance with AS1289.
 / Provide 0.2mm polythene vapour barrier, lapped 200mm and fully tape sealed.
 / All tie-down bolts and anchor rods to be cast into concrete slab.

BLOCKWORK

/ Reinforced concrete blockwork to be in accordance with AS3700.
 / All cores containing reinforcing to be filled with 20MPa concrete. All cores shall be cleaned out prior to filling.
 / Damp proof course to be installed 150mm above finished ground level.

BRICKWORK

/ Brickwork to be in accordance with AS3700 - masonry structures code.
 / Brick ties to be installed at 600 x 600 crs and at 300 crs to raised floor levels
 / Damp proof course to be installed 150mm above finished ground level.
 / Walls shall have a continuous cavity kept clear of mortar droppings and rubbish.
 / All openings shall be fully flashed with standard damp proof course material to prevent water penetration to internal areas.
 / Brick foundation walls under timber floors to have vents at 750sq mm per metre length of external wall (approx. 1 brick sized vent every 2 metres).

GENERAL NOTES

TIMBER

/ All work in structural timber to be in accordance with AS1684 - residential timber framed construction, AS1720 - Timber Engineering Code, and AS1320 - glue laminated structural timber.
 / All hardwood shall have a minimum stress grade of F14 UNO.
 / All laminated beams shall have full width bearing on supports at each end.
 / Provide DPC under all bottom plates.
 / All nuts and bolts to be thoroughly greased and installed with washers. All bolts to be firmly tightened prior to handover. Bolt holes to be 2mm oversize.
 / Unless detailed otherwise timber members shall be fixed with nominal nailing as specified in AS1684.
 / Sizes and details not shown shall comply with AS1684.
 / Timber roof trusses shall be to manufacturer's design with installation strictly in accordance with manufacturer's specification.
 / All handrails shall be 1000 high min above finished floor, with balustrading at 125mm max. Clear spacings to comply with BCA Vol 2 Part 3.9.2.
 / All openings shall be fully flashed with standard galvanised sheet steel flashing.

STEELWORK

/ Fabricate and erect steelwork in accordance with AS1250 - steel structures code and code for welding in building.
 / 10mm mild steel plate and 6mm continuous fillet weld to be used, uno.

STRUCTURAL PLYWOOD

/ All structural plywood shall comply with AS/NZA 2269 - plywood: structural.
 / Each sheet of structural plywood shall have the following information legibly affixed by the manufacturer at the point of manufacture -
 · manufacturer's name or registered mark
 · the word "structural" or product description
 · reference to AS2269 and an indication of the stress grade of the sheet.
 · if treated, branding in accordance with AS/NZS1604.3.

CLADDING - EXTERNAL TIMBER

/ Treated pine and western red cedar cladding shall be fixed and finished in accordance with manufacturer's specification.
 / Chamferboards and weatherboards (including treated boards) to be primed all round prior to fixing. Chamferboards up to 75mm wide shall be single nailed, over 75mm wide shall be double nailed.
 / Weatherboards shall be fixed to hardwood frames with 1/60x2.8mm nail and to softwood frames with 1/60x3.15mm deformed shank nails.
 / Vapour permeable sarking to be provided between cladding and frame.

CLADDING - OTHER

/ All other external and internal cladding shall be fixed and finished in accordance with manufacturer's specification.
 / UNO, all internal linings shall be -
 · dry area walls - 10mm plasterboard
 · wet area walls - 6mm villaboard
 · dry area ceilings - 13mm plasterboard
 · wet area ceilings - 13mm MR plasterboard
 · soffits - 4.5mm hardiflex
Note: ceiling lining to be 13mm to allow for the added weight of insulation.

WET AREAS

/ All wet areas shall comply with BCA Vol 2 Part 3.8.1.
 / Floor surfaces to bath and laundry shall be impervious with junctions between wall and floor flashed to prevent moisture penetration into walls.
 / Ceramic tiles and other approved impervious materials to walls above showers to 1800mm min. Above finished floor.
 / All floors to bathrooms shall fall to floor waste.
 / Doors to WC compartments shall be fitted with lift-off hinges or open outwards.

ALUMINIUM WINDOWS & DOORS

/ All aluminium windows and doors shall comply with AS1288 -glass in buildings, and shall be installed strictly in accordance with manufacturer's specification.

SUSTAINABILITY HOUSING REQUIREMENTS

/ Requirements as per the Queensland Development Code

ENERGY EFFICIENCY RATING

As per BCA Vol 2 Part 3.12 and the Queensland Development Code (QDC) MP4.1, this building shall achieve a min energy efficiency star rating of 6 stars. Refer to framing plan for further details.

ENERGY EFFICIENT (E.E.) LIGHTING

/ A minimum of 80% of total fixed interior artificial lighting to the dwelling and attached garage shall be energy efficient lighting to comply with QDC MP4.1.
 / Energy efficient lighting is lighting with a minimum output of 27 lumens per watt and excludes a heat lamp used in a bathroom for the purposes of radiating heat. For example, LEDs, fluorescent lights or compact fluorescent lights (cfls).

TAPWARE

/ All shower heads and tapware to laundry tubs, kitchen sinks and basins must have a minimum 3-star water efficiency labelling and standards rating, to comply with QDC MP4.1.

TOILETS


/ Toilet cisterns must have dual flush capability and have a minimum 4-star water efficiency labelling and standards rating (ie. 4 litres full flush/3.5 litres half flush toilets), to comply with QDC MP4.1.

RAINWATER TANKS

/ A rainwater tank with a minimum storage capacity of 5000 litres shall be installed to AS3500 - plumbing and drainage and as per QDC MP4.2 and local authority requirements.
 / A davey rain bank or similar pump with an automatic switching device providing supplementary water from the reticulated town water supply shall be installed as per manufacturer's specification.
 / The tank shall be installed to receive rainfall from a minimum roof catchment of half the total roof area or 100m2, whichever is the lesser.
 / The rainwater tank shall provide water for all toilets and washing machine cold water taps, and at least one external tap.

LIVABLE HOUSING DESIGN REQUIREMENTS

/ A continuous and step-free path to a dwelling entrance door from either a pedestrian entry, a garage or carport or an exclusive car parking space
 / A minimum of one level and step-free entrance door into the dwelling from one of the required paths above
 / Internal doors and corridors which allow for unimpeded movement between spaces
 / A sanitary compartment and shower which allows for independent use and access, is located on entry level and is constructed to facilitate future installation of grabrails

| | | | | | | | | | | |
|--|---|--|--|--|-------------------------------------|---|--------------------------------------|----------------|-------------------|-------------------|
|  <p>QBCC License #81396 119 Allen St, Sandgate QLD 4017 07 3869 4777 admin@jazzdesigns.com.au www.jazzdesigns.com.au</p> | USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. © COPYRIGHT RESERVED. All rights reserved. This work is subject to and cannot be reproduced or copied, by any means, without the express permission of Jazz Designs Pty. Ltd. | Project Address PROPOSED NEW RESIDENCE | Project Name PROPOSED NEW RESIDENCE | Rev A 2023 B 2023 C 2023 | Date 2023 2023 2023 | Description SKETCH CONCEPT DESIGN DETAILED CONCEPT DRAWINGS PRELIM WORKING DRAWINGS | Drawn JAZZ JAZZ JAZZ | Checked | Job Number | Sheet 0.11 |
| | | Client Name | Staged Plans PRELIM WORKING DRAWINGS | Date 2023 | Revision C | | | | | |
| | | Drawn by JAZZ | Checked by JAZZ | Scale 1 : 100 | | | | | | |

SITE PLAN

REAL PROPERTY DESCRIPTION

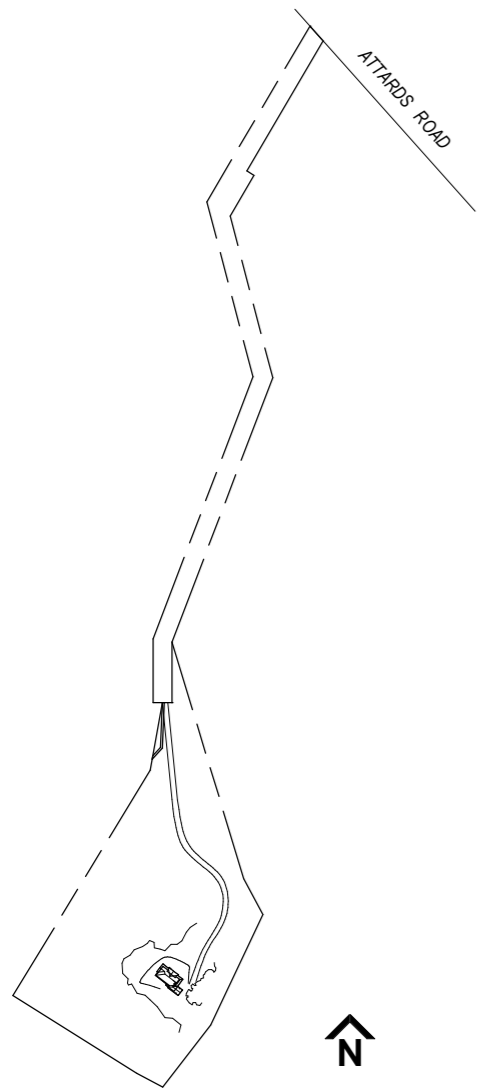
XX
 LOT XX XX
 COUNCIL: XX
 SITE AREA: 70250 m²
 SITE COVERAGE: < 6%

GENERAL NOTES

/ SITEWORKS HAS BEEN BASED ON CONTOUR INFORMATION AVAILABLE AT TIME OF SURVEY. NO ALLOWANCE HAS BEEN MADE FOR CHANGE IN LEVELS DUE TO ACTUAL CONDITIONS ON SITE. DISCREPANCIES WITH THE PLANS SHOULD BE CONFIRMED BY THE BUILDER PRIOR TO COMMENCING SITEWORKS
 / CONTOURS AND LEVELS SHOWN ARE PROVIDED BY A LICENSED SURVEYOR.
 / ALL SURVEY PEGS ARE TO BE LOCATED PRIOR TO EARTHWORKS.
 / SURFACE WATER TO BE DRAINED AWAY FROM DWELLING. 1:20 MIN. FALL.
 / UNLESS NOTED OTHERWISE, REMOVAL OF EXISTING TREES, ON SITE DRAINAGE REQUIREMENTS, AND CONSTRUCTION OF RETAINING WALLS, ARE TO BE PROVIDED BY OWNER.
 / BUILDING PLATFORM APPROX. 1500 FROM BUILDING
 / MAXIMUM BATTERS ARE TO BE: - CUT 1:2 - FILL 1:3
 / PAD LEVEL NOTED ON SITE CAN HAVE A TOLERANCE OF UP TO 100MM.
 / BUILDER TAKES NO RESPONSIBILITY FOR RETAINING OR DRAINAGE REQUIREMENTS CAUSED BY CONDITIONS FROM ADJOINING PROPERTIES.
 / DRIVEWAY CONSTRUCTION TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS.
 / THE LOCATIONS OF ALL STORMWATER LINES AND FIELD GULLIES (FG) AS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY AND ARE SUBJECT TO CHANGE ON SITE AT THE DISCRETION OF THE BUILDER.

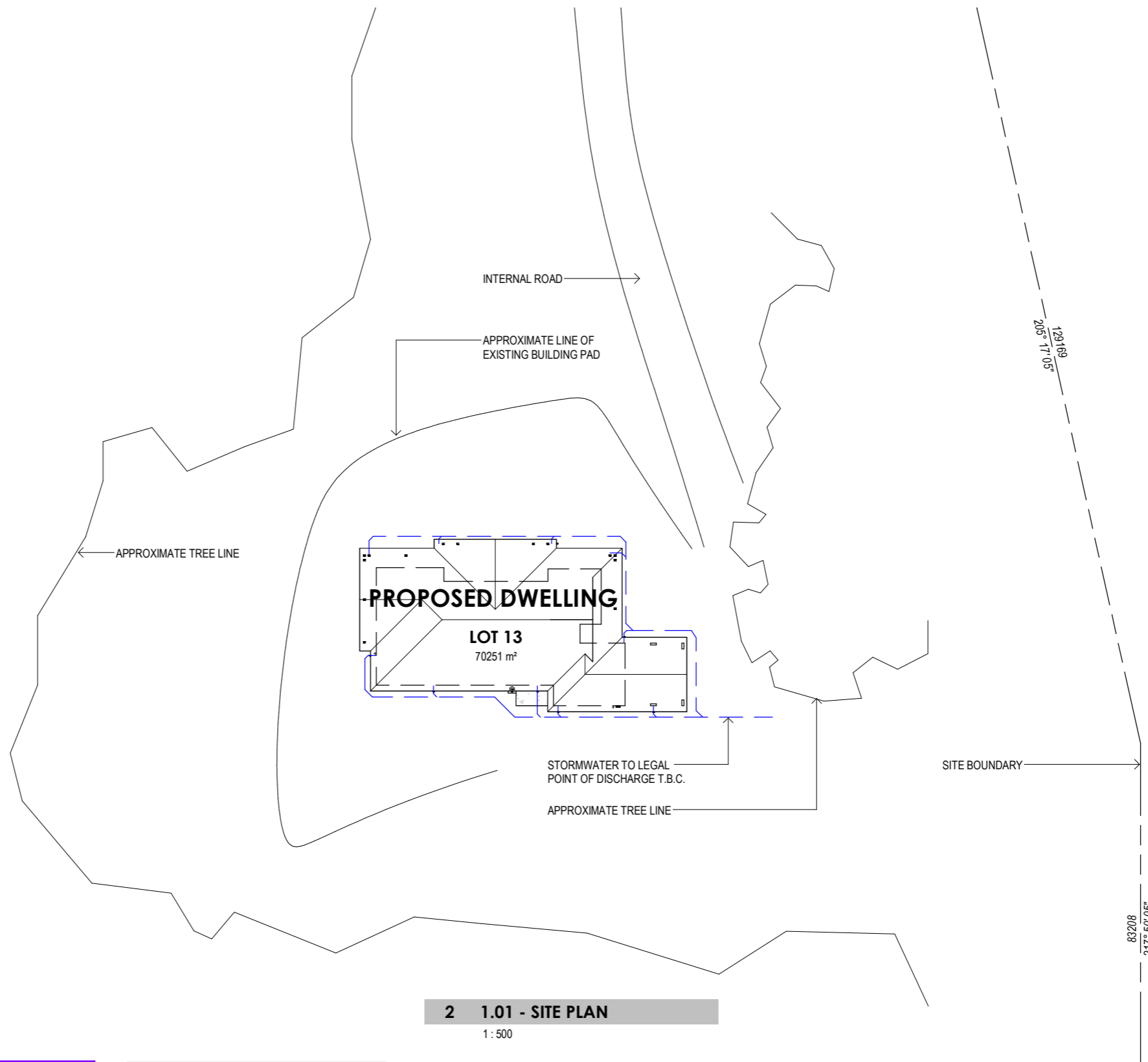
NOTE: ALL DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION

NOTE: EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO CONSTRUCTION



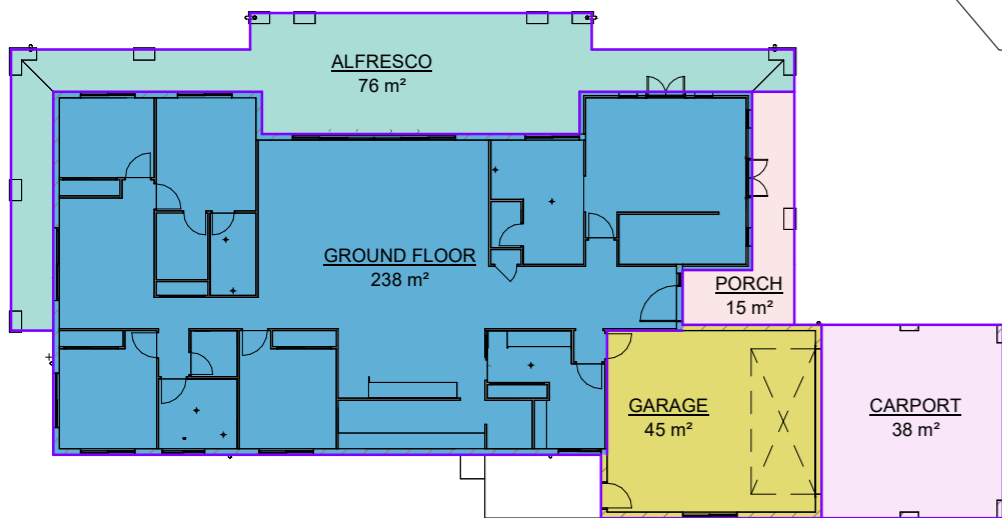
1 1.01 - SITE PLAN OVERALL

1 : 8000



2 1.01 - SITE PLAN

1 : 500



3 AREA PLAN - GROUND FLOOR

1 : 250

| AREA SCHEDULE | |
|---------------|----------------------|
| GROUND FLOOR | 238.2 m ² |
| ALFRESCO | 75.6 m ² |
| GARAGE | 45.4 m ² |
| CARPORT | 38.4 m ² |
| PORCH | 14.9 m ² |
| AREA TOTAL | 412.5 m ² |

| Rev | Date | Description | Drawn | Checked |
|-----|------|---------------------------|-------|---------|
| A | 2023 | SKETCH CONCEPT DESIGN | JAZZ | |
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GROUND FLOOR PLAN

3.01
2

| AREA SCHEDULE | |
|---------------|----------------------|
| GROUND FLOOR | 238.2 m ² |
| ALFRESCO | 75.6 m ² |
| GARAGE | 45.4 m ² |
| CARPORT | 38.4 m ² |
| PORCH | 14.9 m ² |
| AREA TOTAL | 412.5 m ² |

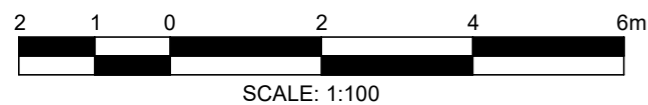
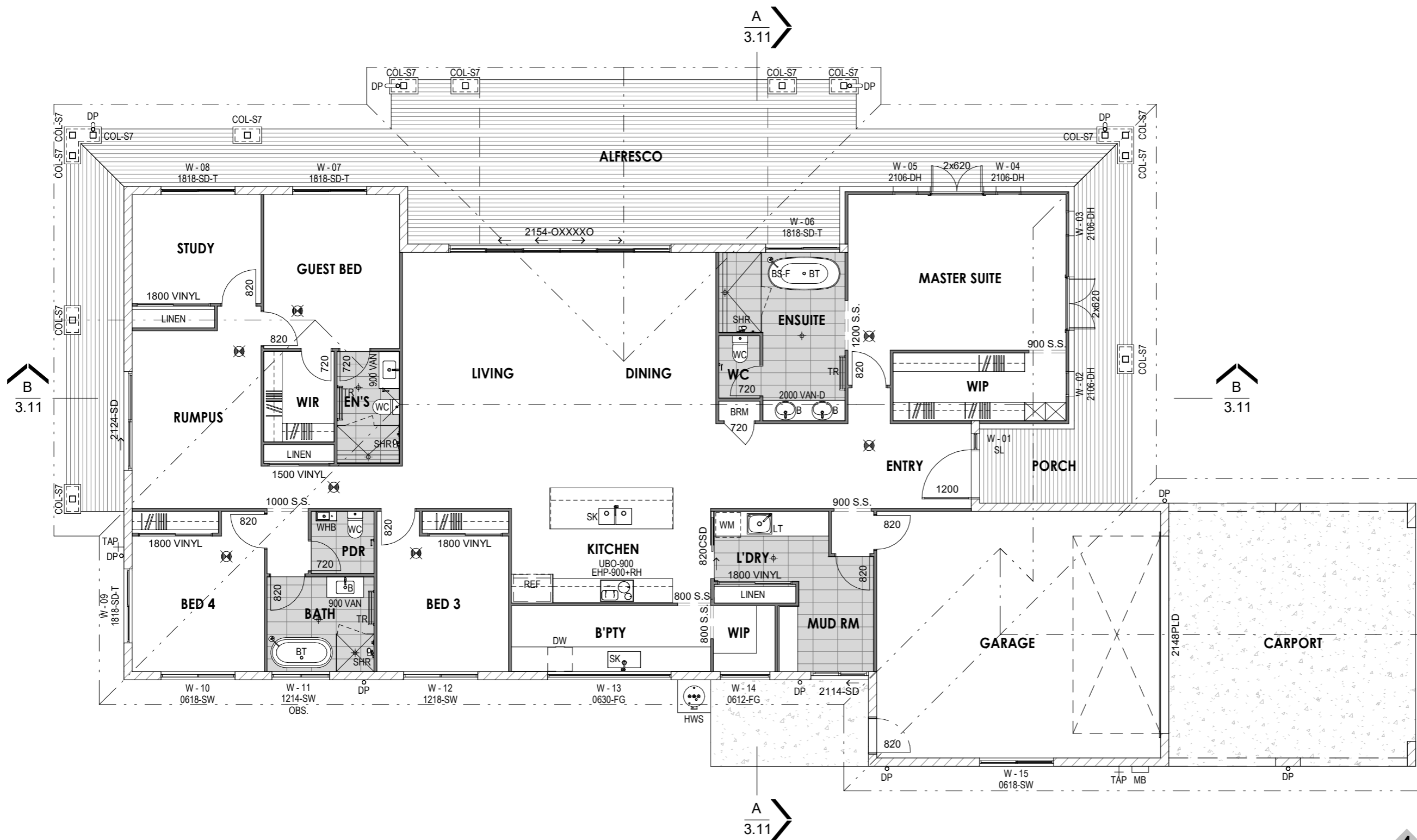
GENERAL NOTES

- / DIMENSIONS NOTED ARE FRAME TO FRAME
- / THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ENGINEER'S DWGS.
- / FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
- / UPPER FLOOR OPENINGS TO COMPLY WITH ALL RELEVANT BUILDING CODES & REGULATIONS.
- / ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL LOCATIONS TO OWNERS REQUIREMENTS.
- / ALL INTERNAL DOORS TO BE 2340H U.N.O
- / ALL FULL HEIGHT WINDOWS TO HAVE NO TIMBER REVEAL TO SILL
- / SMOKE ALARM CEILING MOUNTED
- / WATER CLOSET DOORS TO BE REMOVABLE WHEN REQUIRED IN ACCORDANCE WITH PART 3.8.3
- / REFER TO ENGINEERS DRAWINGS AND/OR BCA 3.3.1.8, FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS AS REQUIRED.

| LEGEND | |
|---------|-------------------------------|
| TR | TOWEL RAIL |
| UBO-900 | OVEN - UNDER BENCH 900mm WIDE |
| WC | WATER CLOSET |
| WHB | WALL HUNG BASIN |
| WM | WASHING MACHINE SPACE |

| LEGEND | |
|-----------|--|
| EHP-900+R | 900mm ELECTRIC HOT PLATE AND RANGEHOOD |
| HWS | HOT WATER SYSTEM |
| LT | LAUNDRY TUB |
| MB | METER BOX |
| REF | REFRIGERATOR SPACE |
| SHR | SHOWER |
| SK | SINK |
| TAP | 12mm HOSE COCK - EXTERNAL |

| LEGEND | |
|------------|--|
| 900 VAN | VANITY UNIT - 900 LONG |
| 2000 VAN-D | DOUBLE VANITY UNIT - 2000 LONG |
| B | BASIN |
| BS-F | BATH SPOUT & MIXER - FLOOR MOUNTED |
| BT | BATHTUB |
| COL-S7 | COLUMN - 150x150 SHS. REFER ENG'S DWGS |
| DP | DOWNPIPE |
| DW | DISHWASHER SPACE |



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USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.

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| Project Address | Project Name |
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| Client Name | |

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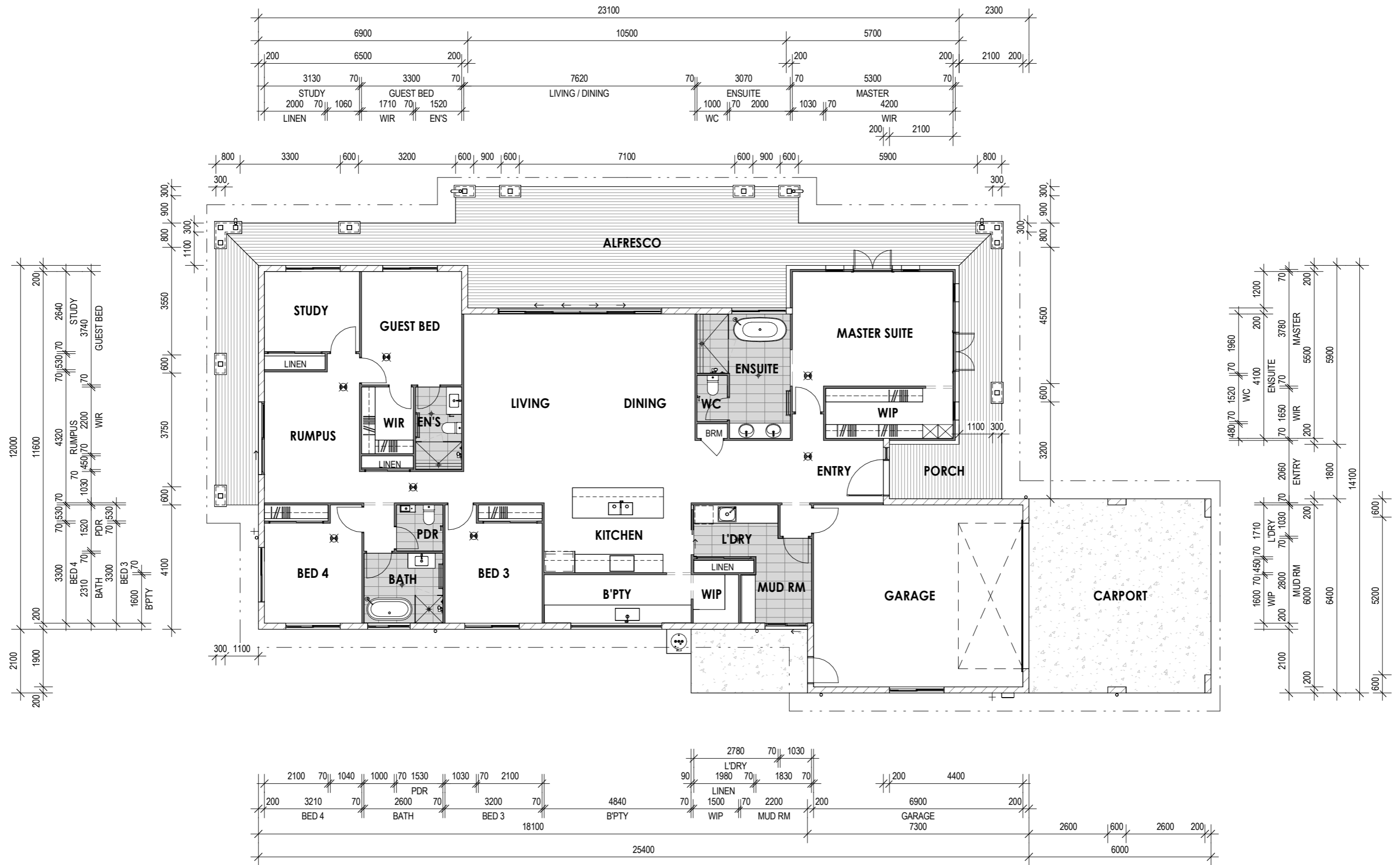
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| Job Number | |
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| Checked by | JAZZ |

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| Sheet | 2.01 |
| Revision | C |
| Date | 2023 |
| Scale | 1 : 100 |



3 3.02
4

DIMENSIONED FLOOR PLANS



1 2.03 - DIMENSIONED FLOOR PLAN

1 : 125

Project Address

Project Name

PROPOSED NEW RESIDENCE

Client Name

| Rev | Date | Description |
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| JAZZ | JAZZ |

Job Number

Staged Plans
PRELIM WORKING DRAWINGS

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Sheet 2.03

Revision C

Date 2023

Scale 1 : 125



WINDOW & DOOR SCHEDULES

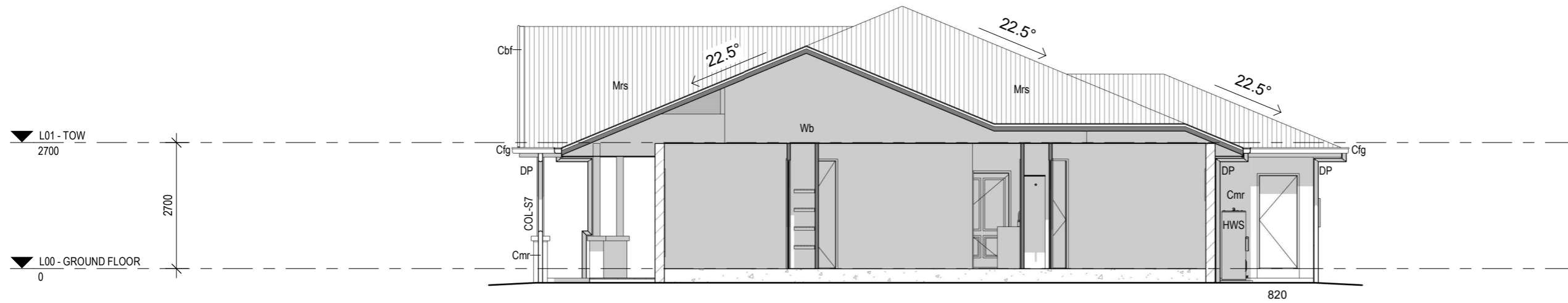
| WINDOW SCHEDULE | | | | |
|-----------------|-----------------|--------|-------|---|
| MARK | MODEL | HEIGHT | WIDTH | DESCRIPTION |
| 01 | SL | 2040 | 400 | Window - Fixed - 1 Panel |
| 02 | 2106-DH | 2100 | 600 | Window - Double Hung - 1 Panel |
| 03 | 2106-DH | 2100 | 600 | Window - Double Hung - 1 Panel |
| 04 | 2106-DH | 2100 | 600 | Window - Double Hung - 1 Panel |
| 05 | 2106-DH | 2100 | 600 | Window - Double Hung - 1 Panel |
| 06 | 1818-SD-T | 1800 | 1800 | Window - Sliding - 2 Panel - XO - Transom |
| 07 | 1818-SD-T | 1800 | 1800 | Window - Sliding - 2 Panel - XO - Transom |
| 08 | 1818-SD-T | 1800 | 1800 | Window - Sliding - 2 Panel - XO - Transom |
| 09 | 1818-SD-T | 1800 | 1800 | Window - Sliding - 2 Panel - XO - Transom |
| 10 | 0618-SW | 600 | 1800 | Window - Sliding - 2 Panel - XO |
| 11 | 1214-SW OBS. | 1200 | 1400 | Window - Sliding - 2 Panel - XO |
| 12 | 1218-SW | 1200 | 1800 | Window - Sliding - 2 Panel - XO |
| 13 | 0630-FG | 600 | 3000 | Window - Fixed - 1 Panel |
| 14 | 0612-FG | 600 | 1200 | Window - Fixed - 1 Panel |
| 15 | 0618-SW | 600 | 1800 | Window - Sliding - 2 Panel - XO |
| Grand total: 15 | | | | |

| DOOR SCHEDULE | | | |
|---------------|--------|-------|---|
| MODEL | HEIGHT | WIDTH | DESCRIPTION |
| 800 S.S. | 2400 | 800 | Door - Opening |
| 2148PLD | 2130 | 4800 | Door - Garage - Sectional - Georgian |
| 820 | 2340 | 870 | Door - Internal Flush Panel - Single |
| 1800 VINYL | 2340 | 1800 | Door - Robe - Plaster - 2 Panel |
| 1200 | 2075 | 1200 | Door - Entry |
| 2154-OXXXXO | 2100 | 5400 | Door - Sliding Door OXXXXO |
| 2x620 | 2100 | 620 | A&L_French Doors QLD - double - Out |
| 720 | 2340 | 770 | Door - Internal Flush Panel - Single |
| 1200 S.S. | 2400 | 1200 | Door - Opening |
| 1000 S.S. | 2400 | 1000 | Door - Opening |
| 820 | 2340 | 870 | Door - Internal Flush Panel - Single |
| 820 | 2340 | 870 | Door - Internal Flush Panel - Single |
| 1800 VINYL | 2340 | 1800 | Door - Robe - Plaster - 2 Panel |
| 2114-SD | 2100 | 1400 | Door - Sliding Door OX |
| 820 | 2340 | 870 | Door - Internal Flush Panel - Single |
| 900 S.S. | 2400 | 900 | Door - Opening |
| 820 | 2340 | 870 | Door - Internal Flush Panel - Single |
| 820CSD | 2340 | 820 | Door - Flush Panel - Cavity Silder - Single |
| 800 S.S. | 2400 | 800 | Door - Opening |
| 820 | 2340 | 870 | Door - Internal Flush Panel - Single |
| 820 | 2340 | 870 | Door - Internal Flush Panel - Single |
| 720 | 2340 | 770 | Door - Internal Flush Panel - Single |
| 720 | 2340 | 770 | Door - Internal Flush Panel - Single |
| 720 | 2340 | 770 | Door - Internal Flush Panel - Single |
| 1800 VINYL | 2340 | 1800 | Door - Robe - Plaster - 2 Panel |
| 1800 VINYL | 2340 | 1800 | Door - Robe - Plaster - 2 Panel |
| 820 | 2040 | 900 | Door - Internal Flush Panel - Single |
| 2124-SD | 2100 | 2400 | Door - Sliding Door OX |
| 1500 VINYL | 2040 | 1500 | Door - Robe - Plaster - 2 Panel |
| 720 | 2340 | 770 | Door - Internal Flush Panel - Single |
| 2x620 | 2100 | 620 | A&L_French Doors QLD - double - Out |
| 900 S.S. | 2400 | 900 | Door - Opening |
| 820 | 2340 | 870 | Door - Internal Flush Panel - Single |

ELEVATIONS

GENERAL NOTES

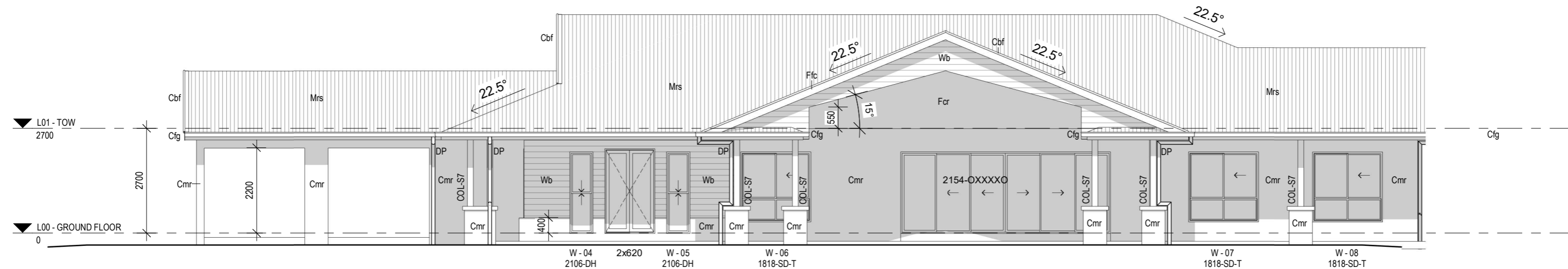
ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTALLATION DETAILS.
 / ONLY A TYPICAL DESCRIPTION OF FINISHES ARE SHOWN. REFER TO BUILDING SPECIFICATION FOR FURTHER INFORMATION.
 / POWDERCOATED ALUMINUM JOINERY THROUGHOUT UNLESS NOTED OTHERWISE.
 / 600mm EAVES UNLESS NOMINATED OTHERWISE
 / REFER TO ENGINEERS DRAWINGS AND/OR BCA 3.3.1.8, FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS AS REQUIRED.
 / FINISHED LEVELS ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED ON SITE.



1 3.01 - SOUTH ELEVATION

1 : 100

| LEGEND | |
|--------|--|
| Cbf | COLORBOND BARGE FLASHING |
| Cfg | COLORBOND FASCIA & GUTTER |
| Cmr | Concrete Masonry - Render Finish |
| COL-S7 | COLUMN - 150x150 SHS. REFER ENG'S DWG'S |
| DP | DOWNPIPE |
| Fcr | Fibre-Cement, Render Finish |
| Ffc | FIBRE CEMENT FASCIA |
| HWS | HOT WATER SYSTEM |
| Mrs | METAL ROOF SHEETING |
| Wb | JH SCYON LINEA WEATHERBOARD 180mm - Refer to manufacturers details |



2 3.02 - WEST ELEVATION

1 : 100

Project Address

Project Name

PROPOSED NEW RESIDENCE

Client Name

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| JAZZ | JAZZ |
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Job Number

Staged Plans
 PRELIM WORKING DRAWINGS

Drawn by JAZZ **Checked by** JAZZ

Sheet 3.01

Revision C

Date 2023

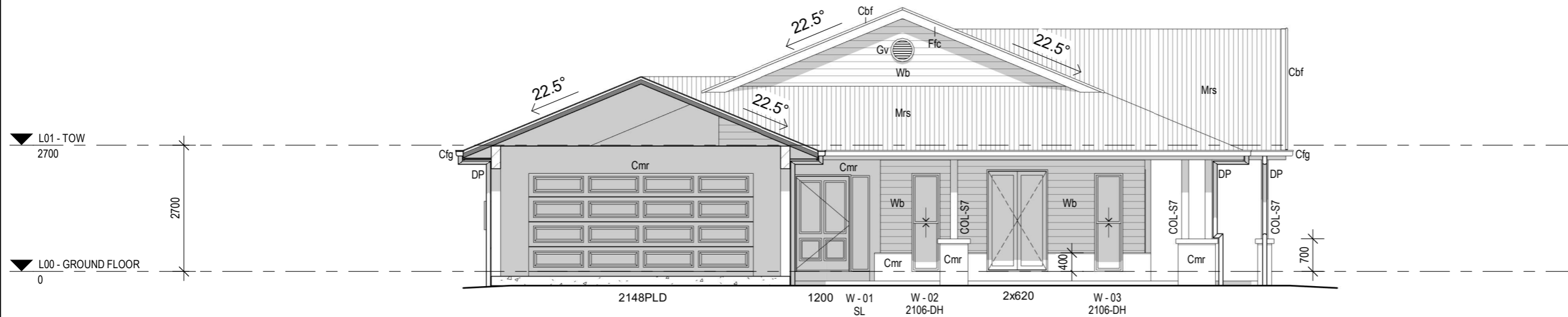
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ELEVATIONS

GENERAL NOTES

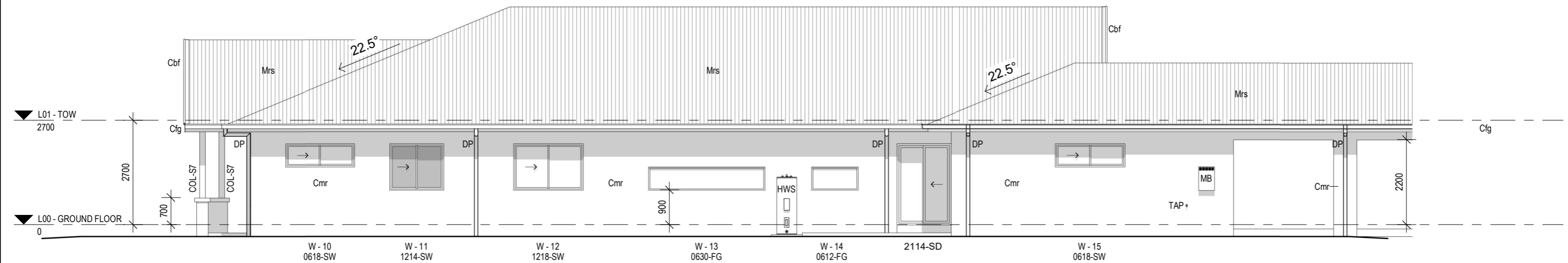
ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTALLATION DETAILS.
 / ONLY A TYPICAL DESCRIPTION OF FINISHES ARE SHOWN. REFER TO BUILDING SPECIFICATION FOR FURTHER INFORMATION.
 / POWDERCOATED ALUMINUM JOINERY THROUGHOUT UNLESS NOTED OTHERWISE.
 / 600mm EAVES UNLESS NOMINATED OTHERWISE
 / REFER TO ENGINEERS DRAWINGS AND/OR BCA 3.3.1.8, FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS AS REQUIRED.
 / FINISHED LEVELS ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED ON SITE.

| LEGEND | |
|--------|--|
| Cbf | COLORBOND BARGE FLASHING |
| Cfg | COLORBOND FASCIA & GUTTER |
| Cmr | Concrete Masonry - Render Finish |
| COL-S7 | COLUMN - 150x150 SHS. REFER ENG'S DWG'S |
| DP | DOWNPIPE |
| Ffc | FIBRE CEMENT FASCIA |
| Gv | FEDTRIM GABLE VENT FULL MOON 500mm NON-FUNCTIONAL |
| HWS | HOT WATER SYSTEM |
| MB | METER BOX |
| Mrs | METAL ROOF SHEETING |
| TAP | 12mm HOSE COCK - EXTERNAL |
| Wb | JH SCYON LINEA WEATHERBOARD 180mm - Refer to manufacturers details |



3 3.03 - NORTH ELEVATION

1 : 100



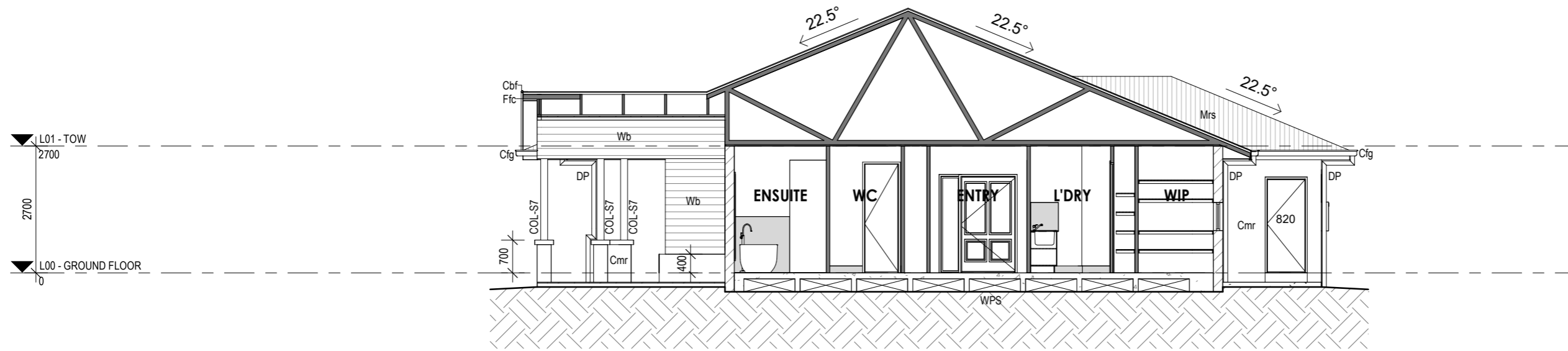
4 3.04 - EAST ELEVATION

1 : 100

BUILDING SECTIONS

GENERAL NOTES

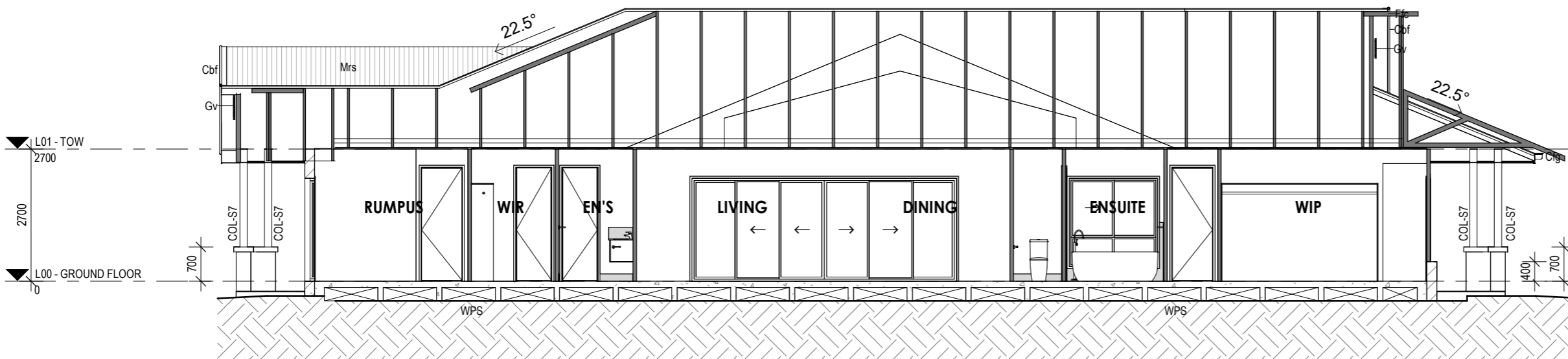
- / ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTALLATION DETAILS.
- / ONLY A TYPICAL DESCRIPTION OF FINISHES ARE SHOWN. REFER TO BUILDING SPECIFICATION FOR FURTHER INFORMATION.
- / POWDERCOATED ALUMINUM JOINERY THROUGHOUT UNLESS NOTED OTHERWISE.
- / PROVIDE TERMITE BARRIER AS PER AS3660.1-2000
- / INTERNAL AND EXTERNAL TIMBER STUD WALLS TO BE 70mm THICK UNLESS NOTED OTHERWISE AND AT 600mm CTRS.
- / REFER TO ENGINEERS DRAWINGS AND/OR BCA 3.3.1.8, FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS AS REQUIRED.
- / ALL STRUCTURAL DETAILS TO ENGINEER'S SPECIFICATIONS, TAKING PRECEDENCE OVER THESE PLANS.
- / FINISHED LEVELS ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED ON SITE.
- / 10mm PLASTERBOARD INTERNAL WALL LININGS
- / 10mm PLASTERBOARD CEILING LININGS
- / 6mm VILLABOARD INTERNAL WET AREA WALL LININGS
- / REFER TO ELEVATIONS FOR EXTENT OF EXTERNAL FINISHES
- / 450mm EAVES UNLESS NOMINATED OTHERWISE



A 3.11 - SECTION A-A

1 : 100

| LEGEND | |
|--------|--|
| Cbf | COLORBOND BARGE FLASHING |
| Cfg | COLORBOND FASCIA & GUTTER |
| Cmr | Concrete Masonry - Render Finish |
| COL-S7 | COLUMN - 150x150 SHS. REFER ENG'S DWG'S |
| DP | DOWNPIPE |
| Ffc | FIBRE CEMENT FASCIA |
| Gv | FEDTRIM GABLE VENT FULL MOON 500mm NON-FUNCTIONAL |
| Mrs | METAL ROOF SHEETING |
| Wb | JH SCYON LINEA WEATHERBOARD 180mm - Refer to manufacturers details |
| WPS | WAFFLE POD SLAB, To Eng's Details |



B 3.11 - SECTION B-B

1 : 100

ELECTRICAL NOTES

/ ELECTRICAL CONTRACTOR TO ALLOW FOR CONNECTION OF POWER TO A/C, POOL AND HWS PLANT, TO BE COORDINATED WITH SPECIALIST CONTRACTORS / SUPPLIERS / MANUFACTURERS
 / LOCATION OF FIXTURES AND FITTINGS SHOWN ON DRAWINGS ARE INDICATIVE ONLY.
 FINAL LOCATIONS TO BE CONFIRMED WITH SITE SUPERVISOR ON SITE.
 / ELECTRICAL CONTRACTOR TO CONFIRM ELECTRICAL LOADS FOR EACH APPLIANCE AND ALLOW FOR SUITABLE POWER OUTLET
 / ALL ELECTRICAL WIRING & ELECTRICAL INSTALLATIONS ARE TO COMPLY WITH AS/NZS3000:2007 WIRING RULES
 / AIR CONDITIONING UNITS ARE TO MEET THE RELEVANT MEPS OF AS/NZS3823.1, AS/NZS3823.2 OR AS/NZS3823.3-2011 FOR BOTH SINGLE AND THREE PHASE (<http://www.energyrating.gov.au>)
 / ALL SMOKE ALARMS MUST BE PHOTOELECTRIC TECHNOLOGY & TO BE INTERCONNECTED, EITHER WIRED OR WIRELESSLY
 / ALL EXHAUST FANS TO BE EXTERNALLY DUCTED
 / PLANS TO BE ASSESSED TO ACHIEVE A 6 STAR ENERGY RATING
 / ENERGY EFFICIENT LIGHTING TO 80% OF THE FIXED INTERNAL LIGHTS

HEIGHTS OF LIGHT SWITCHES

1100mm ABOVE FFL

HEIGHTS OF POWER OUTLETS

GENERAL 300mm ABOVE FFL
 EXTERNAL 1000mm ABOVE FFL
 KITCHEN 1100mm ABOVE FFL
 FRIDGE 1900mm ABOVE FFL
 BATH / ENSUITE 1100mm ABOVE FFL
 LAUNDRY 1100mm ABOVE FFL

| LIGHTING & ELECTRICAL SCHEDULE - GF | | |
|--|--|----|
| Electrical - Ceiling Fan | | 8 |
| Electrical - Ceiling Fan - External Grade | | 2 |
| Electrical - Data Point | | 4 |
| Electrical - Exhaust Fan | | 6 |
| Electrical - GPO Double 300h | | 13 |
| Electrical - GPO Double 1100h | | 11 |
| Electrical - GPO Double External Grade 1000h | | 3 |
| Electrical - GPO Isolation Point | | 1 |

| LIGHTING & ELECTRICAL SCHEDULE - GF | | |
|---------------------------------------|--|----|
| Electrical - GPO Single CM | | 1 |
| Electrical - GPO Single DW | | 1 |
| Electrical - GPO Single MW | | 1 |
| Electrical - GPO Single REF | | 1 |
| Electrical - GPO Single RH | | 1 |
| Electrical - Light - Double Spotlight | | 1 |
| Electrical - Light - LED Downlight | | 59 |
| Electrical - TV Point | | 2 |
| Electrical - Smoke Detector | | 7 |

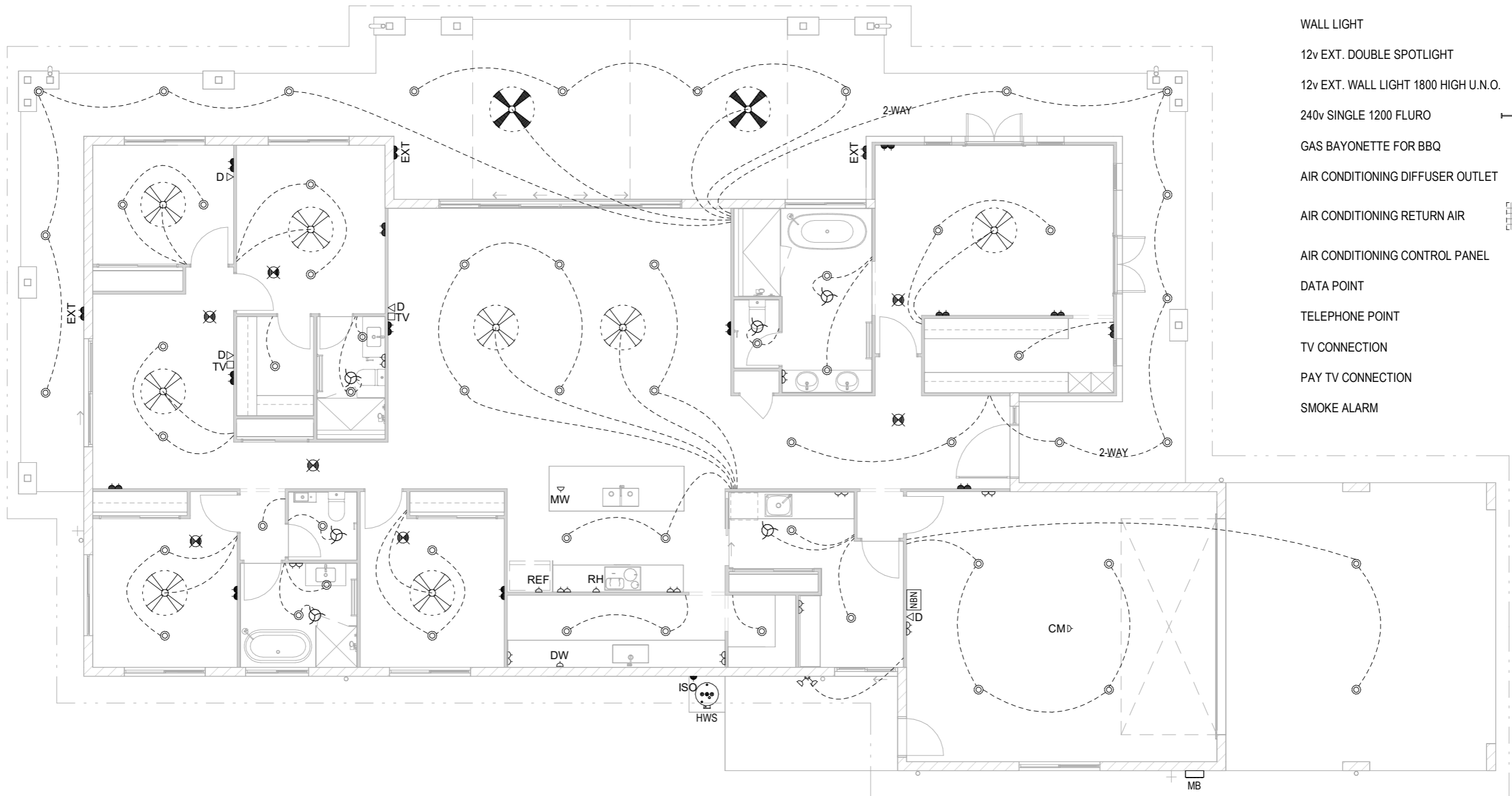
| LEGEND | |
|--------|------------------|
| HWS | HOT WATER SYSTEM |
| MB | METER BOX |

ELECTRICAL LEGEND

- CEILING FAN
- CEILING FAN WITH LIGHT
- CEILING FAN EXT. GRADE
- EXHAUST FAN
- EXHAUST FAN WITH LIGHT
- SINGLE GPO 525 HIGH

GROUND FLOOR ELECTRICAL

- SINGLE GPO CUSTOM HEIGHT
- 20amp ISOLATION POINT
- DOUBLE GPO 300 HIGH
- DOUBLE GPO 1100 HIGH
- SINGLE GPO EXT. GRADE 1000 HIGH
- DOUBLE GPO EXT. GRADE 1000 HIGH
- LED DOWNLIGHT
- BATTEN HOLDER
- WALL LIGHT
- 12v EXT. DOUBLE SPOTLIGHT
- 12v EXT. WALL LIGHT 1800 HIGH U.N.O.
- 240v SINGLE 1200 FLURO
- GAS BAYONETTE FOR BBQ
- AIR CONDITIONING DIFFUSER OUTLET
- AIR CONDITIONING RETURN AIR
- AIR CONDITIONING CONTROL PANEL
- DATA POINT
- TELEPHONE POINT
- TV CONNECTION
- PAY TV CONNECTION
- SMOKE ALARM



GROUND FLOOR FINISHES PLAN

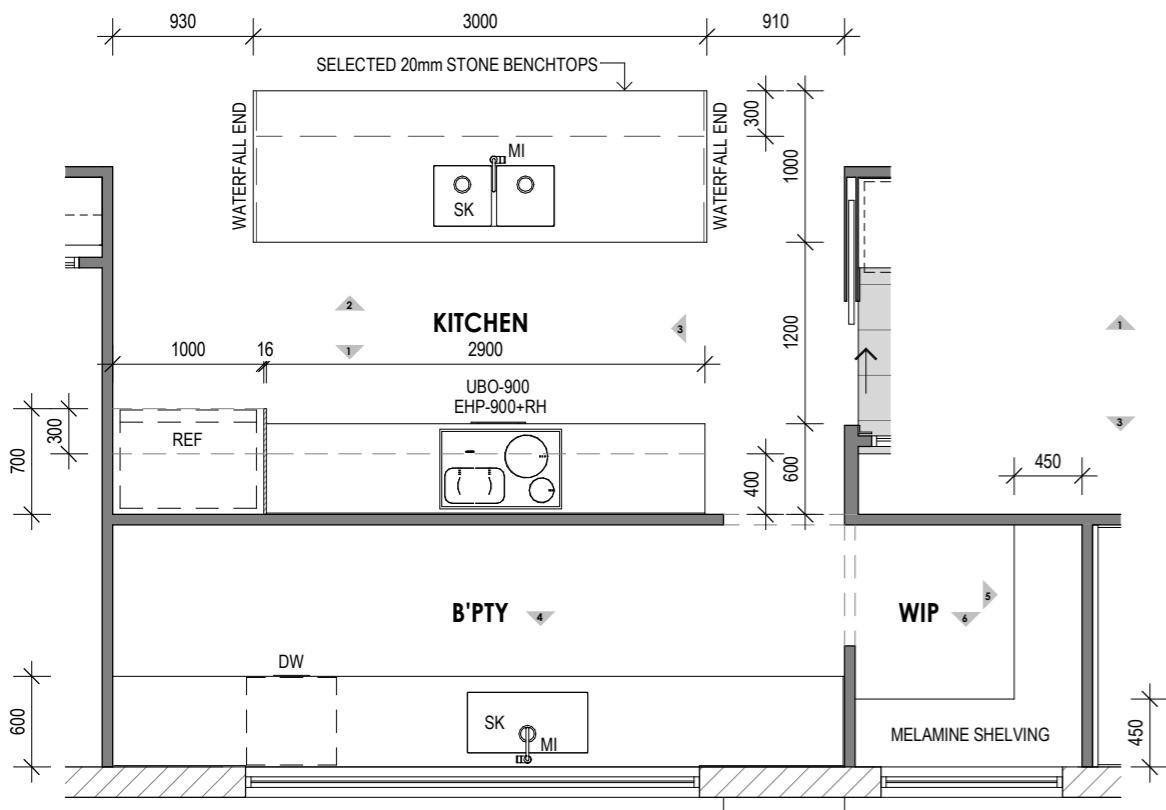
GENERAL NOTES

/ FLOOR COVERINGS SHOWN ARE FOR REPRESENTATION ONLY AND DO NOT DEPICT THE SETOUT OF EACH INDIVIDUAL FINISH.
 / REFER TO COLOUR DOCUMENT FOR ADDITIONAL INFORMATION ON PLACEMENT AND PRODUCT CODES.

| LEGEND | |
|--------|-----------------------------|
| Conc | CONCRETE FLOOR FINISH |
| Cpt | CARPET |
| Exp-a | EXPOSED AGGREGATE CONCRETE |
| Tfd | TIMBER DECKING FLOOR FINISH |
| Tile | FLOOR TILES |
| Tile-W | FLOOR TILES WET AREA |

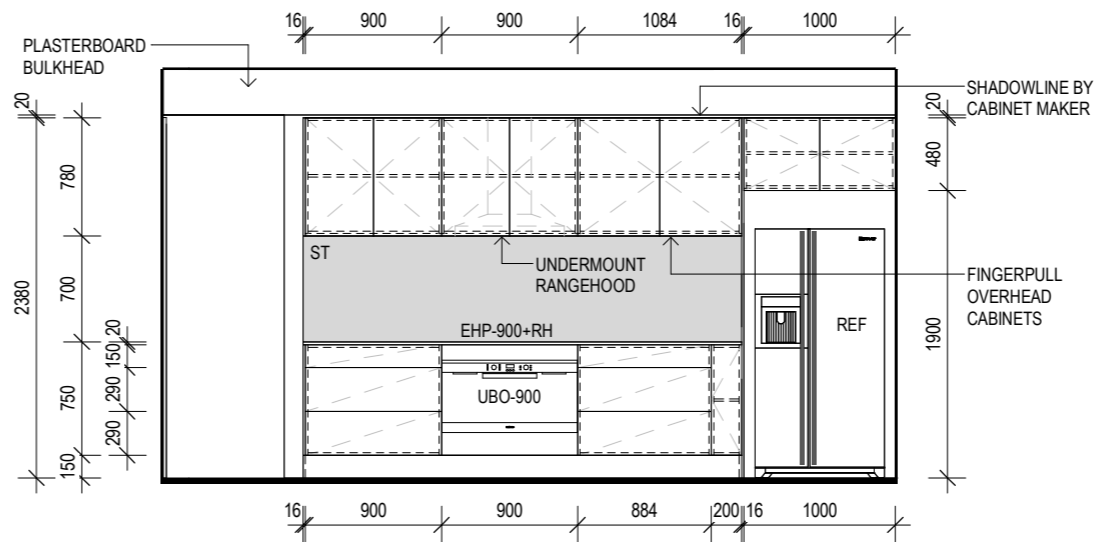


INTERNALS



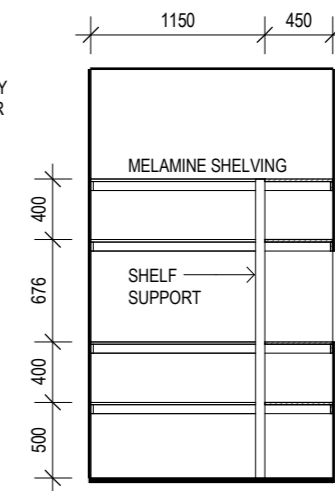
A 5.01 - DETAIL PLAN KITCHEN

1:50



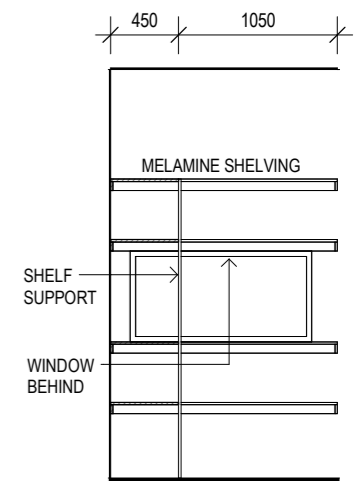
1 ELEVATION KITCHEN 1

1:50



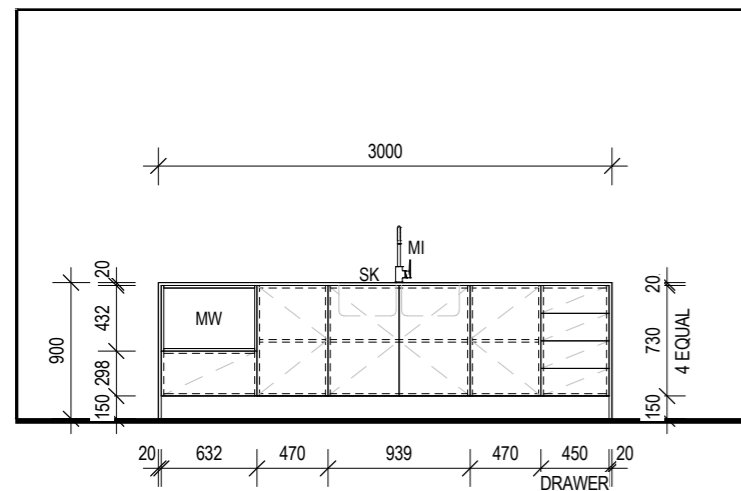
5 ELEVATION WIP 1

1:50



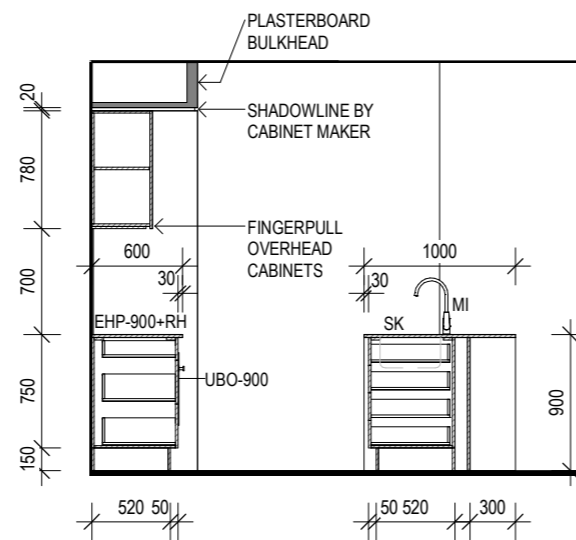
6 ELEVATION WIP 2

1:50



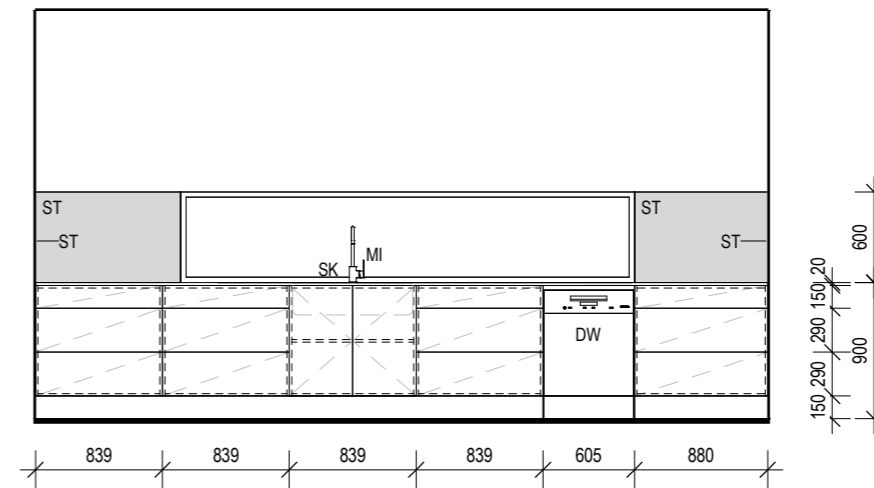
2 ELEVATION KITCHEN 2

1:50



3 ELEVATION KITCHEN 3

1:50



4 ELEVATION B'PTY 1

1:50

| LEGEND | |
|------------|--|
| DW | DISHWASHER SPACE |
| EHP-900+RH | 900mm ELECTRIC HOT PLATE AND RANGEHOOD |
| MI | MIXER |
| MW | MICROWAVE SPACE |
| REF | REFRIGERATOR SPACE |
| SK | SINK |
| ST | SELECTED TILES |
| UBO-900 | OVEN - UNDER BENCH 900mm WIDE |

GENERAL NOTES

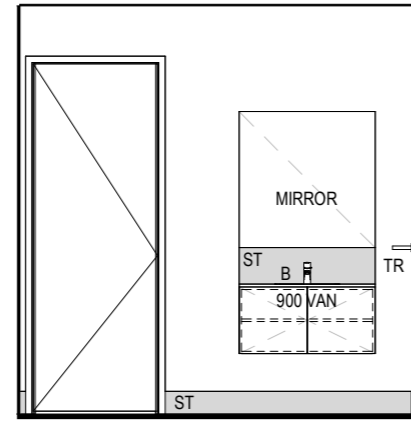
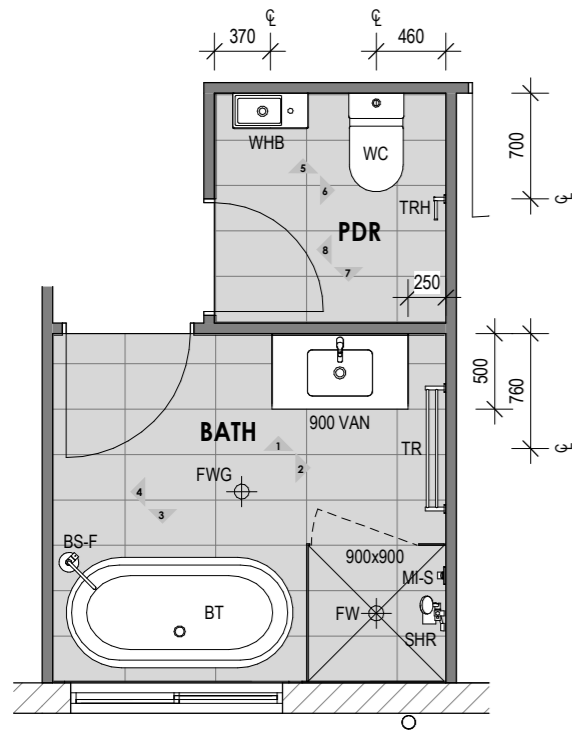
/ DIMENSIONS NOTED ARE FRAME TO FRAME ONLY AND DO NOT TAKE PLASTERBOARD/ SKIRTING INTO CONSIDERATION. CABINETS ARE TO BE SITE MEASURED AND MAY VARY FROM MEASUREMENTS SHOWN.
/ PROVIDE 10MM MAX. SHADOWLINE BETWEEN CABINETRY AND BENCHTOP U.N.O.

FIXING HEIGHTS

| | |
|----------------------|-------------|
| TOILET ROLL HOLDER | 700mm AFFL |
| TOWEL RAIL | 1100mm AFFL |
| GPO TO WET AREA | 1100mm AFFL |
| GPO TO FRIDGE RECESS | 1900mm AFFL |
| HOSE COCK TO FRIDGE | 1900mm AFFL |
| SHOWER RAIL | 1900mm AFFL |
| SHOWER RAIL INLET | 1800mm AFFL |
| SHOWER MIXER | 1100mm AFFL |

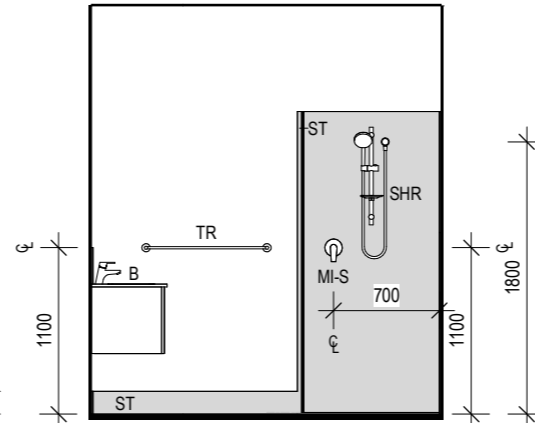
TILING NOTES

/ TILING LAYOUTS SHOWN ARE INDICATIVE ONLY, FINAL SETOUT TO BE DETERMINED ON SITE BY THE TILING CONTRACTOR
/ TILED REVEALS TO WINDOWS WITHIN FULL HEIGHT TILING



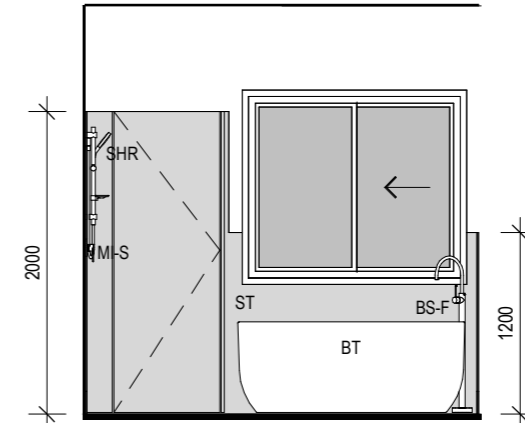
1 ELEVATION BATH 1

1:50



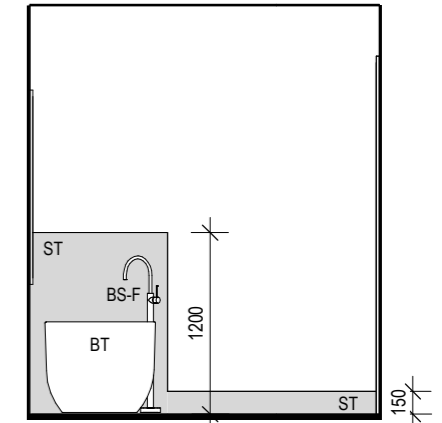
2 ELEVATION BATH 2

1:50



3 ELEVATION BATH 3

1:50

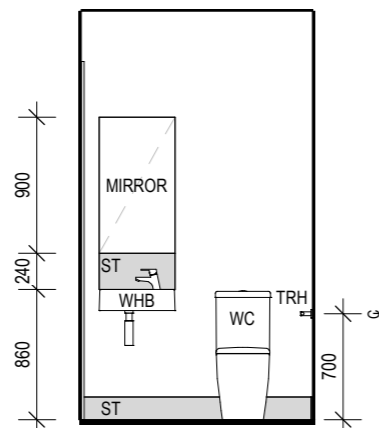


4 ELEVATION BATH 4

1:50

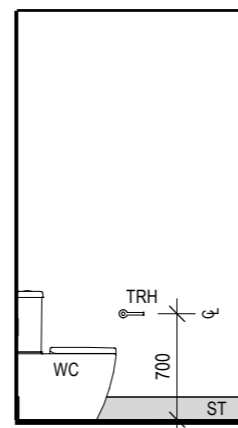
B 5.02 - DETAIL PLAN BATHROOM PDR

1:50



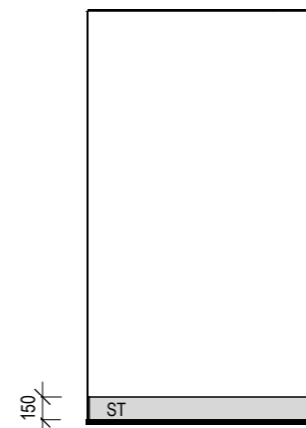
5 ELEVATION PDR 1

1:50



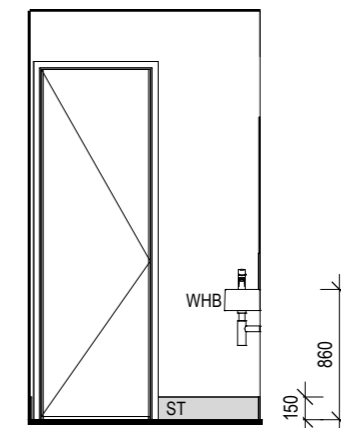
6 ELEVATION PDR 2

1:50



7 ELEVATION PDR 3

1:50



8 ELEVATION PDR 4

1:50

| LEGEND | |
|---------|------------------------------------|
| 900 VAN | VANITY UNIT - 900 LONG |
| 900x900 | SHOWER - 900x900 |
| B | BASIN |
| BS-F | BATH SPOUT & MIXER - FLOOR MOUNTED |
| BT | BATHTUB |
| FW | FLOOR WASTE |
| FWG | FLOOR WASTE GULLY |
| MI-S | SHOWER MIXER |
| MIRROR | MIRROR - TO MATCH VANITY SIZE |
| SHR | SHOWER |
| ST | SELECTED TILES |
| TR | TOWEL RAIL |
| TRH | TOILET ROLL HOLDER |
| WC | WATER CLOSET |
| WHB | WALL HUNG BASIN |

GENERAL NOTES

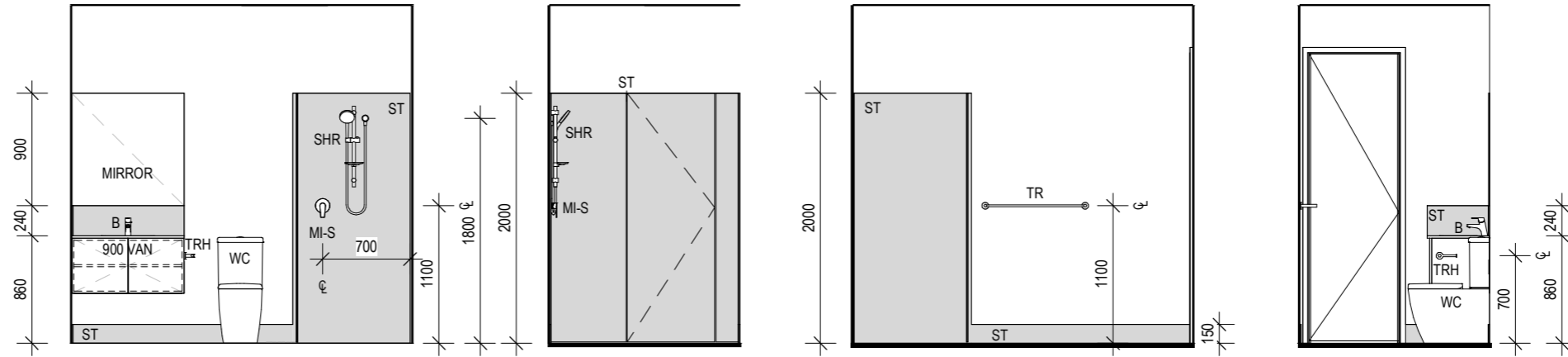
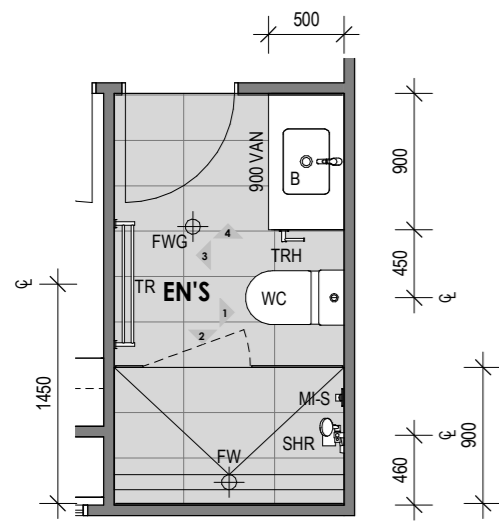
/ DIMENSIONS NOTED ARE FRAME TO FRAME ONLY AND DO NOT TAKE PLASTERBOARD/ SKIRTING INTO CONSIDERATION. CABINETS ARE TO BE SITE MEASURED AND MAY VARY FROM MEASUREMENTS SHOWN.
/ PROVIDE 10MM MAX. SHADOWLINE BETWEEN CABINETRY AND BENCHTOP U.N.O.

FIXING HEIGHTS

| | |
|----------------------|-------------|
| TOILET ROLL HOLDER | 700mm AFFL |
| TOWEL RAIL | 1100mm AFFL |
| GPO TO WET AREA | 1100mm AFFL |
| GPO TO FRIDGE RECESS | 1900mm AFFL |
| HOSE COCK TO FRIDGE | 1900mm AFFL |
| SHOWER RAIL | 1900mm AFFL |
| SHOWER RAIL INLET | 1800mm AFFL |
| SHOWER MIXER | 1100mm AFFL |

TILING NOTES

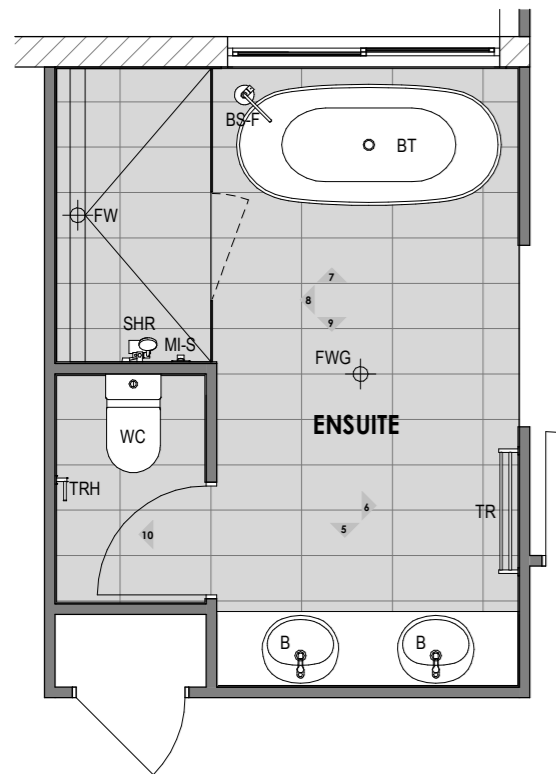
/ TILING LAYOUTS SHOWN ARE INDICATIVE ONLY, FINAL SETOUT TO BE DETERMINED ON SITE BY THE TILING CONTRACTOR
/ TILED REVEALS TO WINDOWS WITHIN FULL HEIGHT TILING



1 ELEVATION ENS 1 1:50 **2 ELEVATION ENS 2** 1:50 **3 ELEVATION ENS 3** 1:50 **4 ELEVATION ENS 4** 1:50

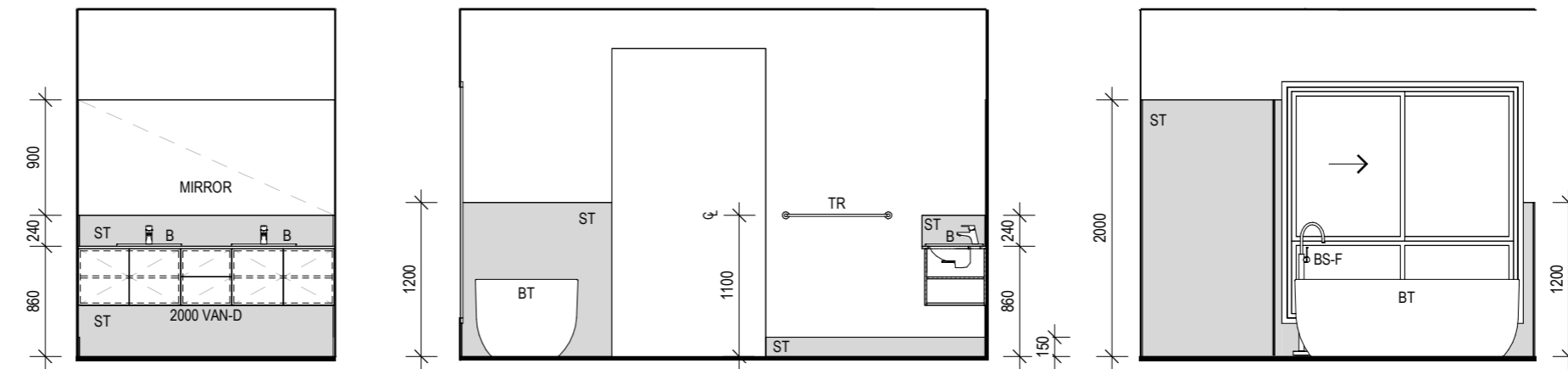
C 5.03 - DETAIL PLAN GUEST ENS

1:50

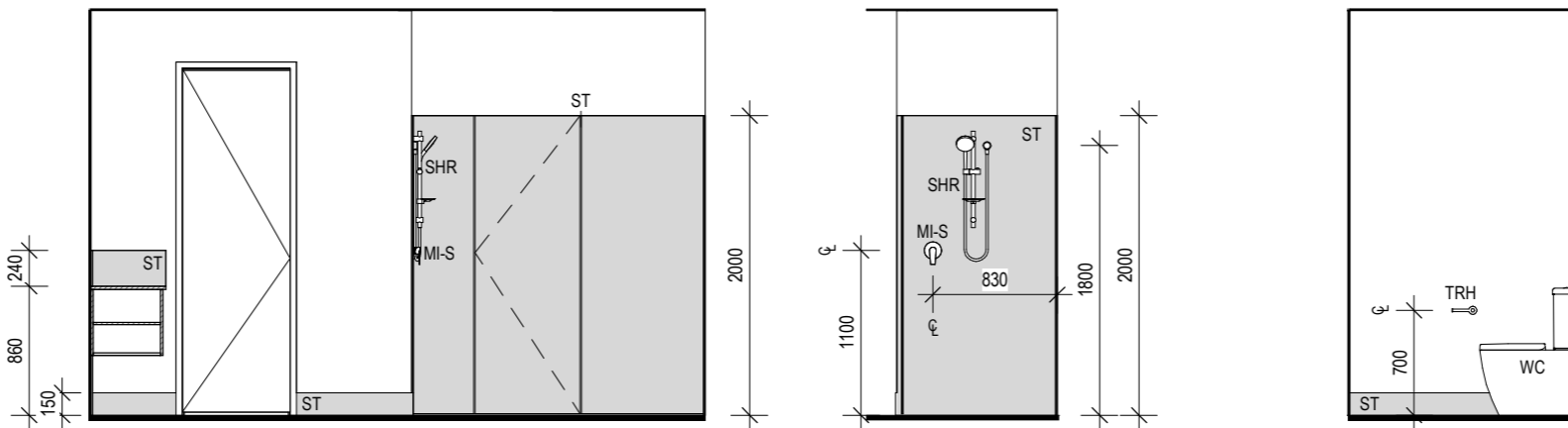


D 5.04 - DETAIL PLAN ENSUITE

1:50



5 ELEVATION ENSUITE 1 1:50 **6 ELEVATION ENSUITE 2** 1:50 **7 ELEVATION ENSUITE 3** 1:50



8 ELEVATION ENSUITE 4 1:50 **9 ELEVATION ENSUITE 5** 1:50 **10 ELEVATION ENSUITE 6** 1:50

| LEGEND | |
|------------|------------------------------------|
| 900 VAN | VANITY UNIT - 900 LONG |
| 2000 VAN-D | DOUBLE VANITY UNIT - 2000 LONG |
| B | BASIN |
| BS-F | BATH SPOUT & MIXER - FLOOR MOUNTED |
| BT | BATHTUB |
| FW | FLOOR WASTE |
| FWG | FLOOR WASTE GULLY |
| MI-S | SHOWER MIXER |
| MIRROR | MIRROR - TO MATCH VANITY SIZE |
| SHR | SHOWER |
| ST | SELECTED TILES |
| TR | TOWEL RAIL |
| TRH | TOILET ROLL HOLDER |
| WC | WATER CLOSET |

GENERAL NOTES

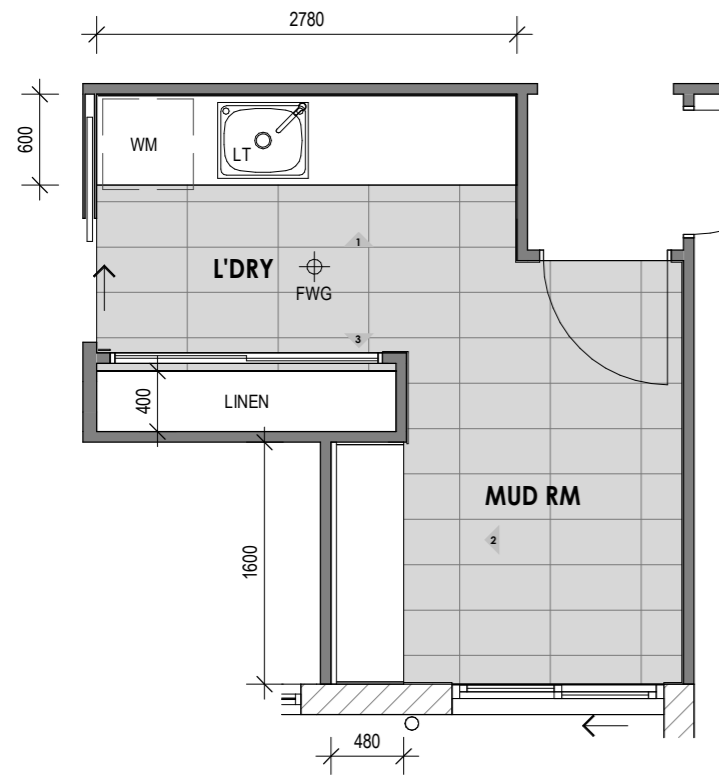
/ DIMENSIONS NOTED ARE FRAME TO FRAME ONLY AND DO NOT TAKE PLASTERBOARD/ SKIRTING INTO CONSIDERATION. CABINETS ARE TO BE SITE MEASURED AND MAY VARY FROM MEASUREMENTS SHOWN.
/ PROVIDE 10MM MAX. SHADOWLINE BETWEEN CABINETRY AND BENCHTOP U.N.O.

FIXING HEIGHTS

| | |
|----------------------|-------------|
| TOILET ROLL HOLDER | 700mm AFFL |
| TOWEL RAIL | 1100mm AFFL |
| GPO TO WET AREA | 1100mm AFFL |
| GPO TO FRIDGE RECESS | 1900mm AFFL |
| HOSE COCK TO FRIDGE | 1900mm AFFL |
| SHOWER RAIL | 1900mm AFFL |
| SHOWER RAIL INLET | 1800mm AFFL |
| SHOWER MIXER | 1100mm AFFL |

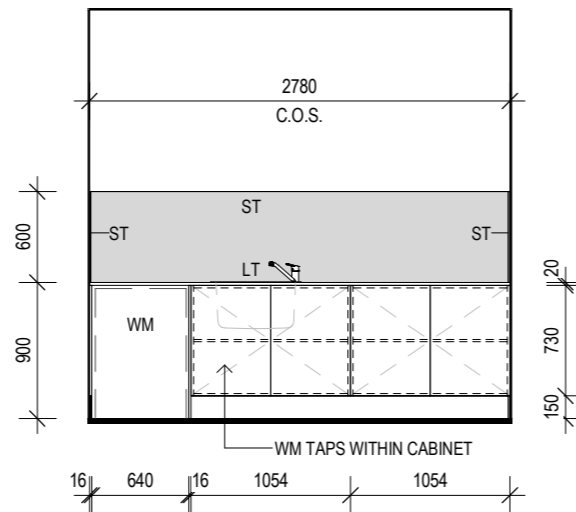
TILING NOTES

/ TILING LAYOUTS SHOWN ARE INDICATIVE ONLY, FINAL SETOUT TO BE DETERMINED ON SITE BY THE TILING CONTRACTOR
/ TILED REVEALS TO WINDOWS WITHIN FULL HEIGHT TILING



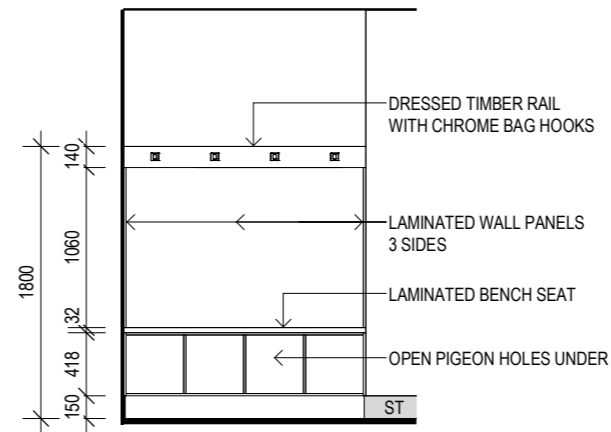
E 5.05 - DETAIL PLAN LAUNDRY MUD ROOM

1:50



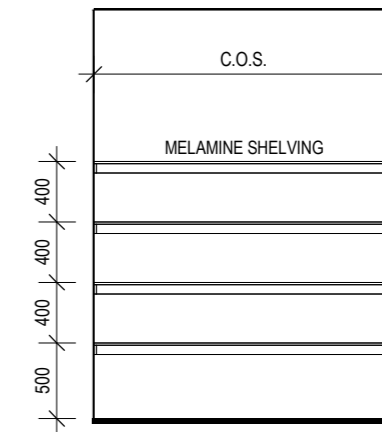
1 ELEVATION L'DRY 1

1:50



2 ELEVATION MUD RM 1

1:50



3 ELEVATION LINEN TYPICAL

1:50

| LEGEND | |
|--------|-----------------------|
| FWG | FLOOR WASTE GULLY |
| LT | LAUNDRY TUB |
| ST | SELECTED TILES |
| WM | WASHING MACHINE SPACE |

GENERAL NOTES

/ DIMENSIONS NOTED ARE FRAME TO FRAME ONLY AND DO NOT TAKE PLASTERBOARD/ SKIRTING INTO CONSIDERATION. CABINETS ARE TO BE SITE MEASURED AND MAY VARY FROM MEASUREMENTS SHOWN.
/ PROVIDE 10MM MAX. SHADOWLINE BETWEEN CABINETRY AND BENCHTOP U.N.O.

FIXING HEIGHTS

| | |
|----------------------|-------------|
| TOILET ROLL HOLDER | 700mm AFFL |
| TOWEL RAIL | 1100mm AFFL |
| GPO TO WET AREA | 1100mm AFFL |
| GPO TO FRIDGE RECESS | 1900mm AFFL |
| HOSE COCK TO FRIDGE | 1900mm AFFL |
| SHOWER RAIL | 1900mm AFFL |
| SHOWER RAIL INLET | 1800mm AFFL |
| SHOWER MIXER | 1100mm AFFL |

TILING NOTES

/ TILING LAYOUTS SHOWN ARE INDICATIVE ONLY, FINAL SETOUT TO BE DETERMINED ON SITE BY THE TILING CONTRACTOR
/ TILED REVEALS TO WINDOWS WITHIN FULL HEIGHT TILING



Example Drawings
**PRELIM
WORKING
DRAWINGS**

Project Type

Direct Client - Two Storey - New Build

INCLUDED DRAWINGS

3D External Views
Site Plan including Area Plan
Floor Plan
Dimensioned Floor Plan
Window and Door Schedules
External Elevations
Building Sectional Views
Electrical Plan
Floor Finishes Plan
Internal Elevations

2 rounds of revisions included

DRAWING REGISTER

| SHEET NO. | SHEET NAME | REV. | DATE |
|-----------|-----------------------------|------|------|
| 0.00 | COVER SHEET | C | 2023 |
| 0.01 | 3D PERSPECTIVE VIEWS | C | 2023 |
| 1.01 | SITE PLAN | C | 2023 |
| 2.01 | GROUND FLOOR PLAN | C | 2023 |
| 2.03 | FIRST FLOOR PLAN | C | 2023 |
| 2.05 | WINDOWS AND DOORS SCHEDULES | C | 2023 |
| 3.01 | ELEVATIONS | C | 2023 |
| 3.02 | ELEVATIONS | C | 2023 |
| 3.11 | BUILDING SECTIONS | C | 2023 |
| 4.01 | GROUND FLOOR ELECTRICAL | C | 2023 |
| 4.02 | FIRST FLOOR ELECTRICAL | C | 2023 |
| 4.21 | GROUND FLOOR FINISHES PLAN | C | 2023 |
| 4.22 | FIRST FLOOR FINISHES PLAN | C | 2023 |
| 5.01 | INTERNALS | C | 2023 |
| 5.02 | INTERNALS | C | 2023 |
| 5.03 | INTERNALS | C | 2023 |
| 5.04 | INTERNALS | C | 2023 |
| 5.05 | INTERNALS | C | 2023 |
| 5.06 | INTERNALS | C | 2023 |



1 3D View 1

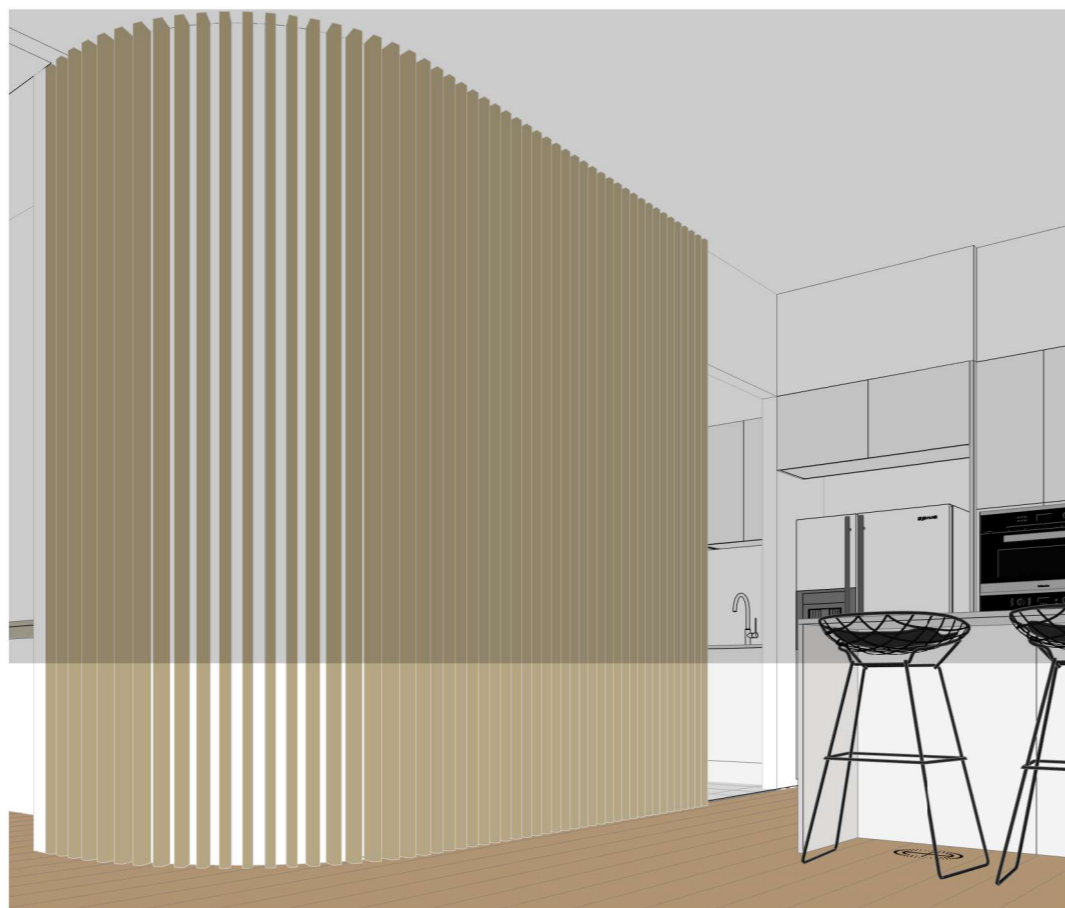
| | | | | | | | | | | |
|---|---|-------------------------------|--|-----------------------|----------------------|---|----------------------------|-------------------------|--------------------------|-------------------|
| <p>QBCC License #81396 119 Allen St, Sandgate QLD 4017 07 3869 4777 admin@jazzdesigns.com.au www.jazzdesigns.com.au</p> | <p>USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.</p> <p>© COPYRIGHT RESERVED. All rights reserved. This work is subject to and cannot be reproduced or copied, by any means, without the express permission of Jazz Designs Pty. Ltd.</p> | <p>Project Address</p> | <p>Project Name NEW DESIGN - TWO STOREY</p> | <p>Rev C</p> | <p>Date 2023</p> | <p>Description Preliminary Working Drawings</p> | <p>Drawn JAZZ</p> | <p>Checked JAZZ</p> | <p>Job Number</p> | <p>Sheet 0.00</p> |
| | | <p>Client Name</p> | <p>Staged Plans Preliminary Working Drawings</p> | <p>Revision C</p> | <p>Date 2023</p> | <p>Drawn by JAZZ</p> | <p>Checked by JAZZ</p> | <p>Scale 1 : 50</p> | | |



1 3D View 3



2 3D View 4



3 3D View 2

| | | | | | | | | | | |
|--|---|-------------------------------|---|---------------------------------|-----------------------------|--|------------------------------|--------------------------------|--------------------------|--------------------------|
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| | | <p>Client Name</p> | <p>Staged Plans Preliminary Working Drawings</p> | <p>Drawn by JAZZ</p> | <p>Checked by</p> | <p>Revision C</p> | <p>Date 2023</p> | <p>Scale</p> | | |

SITE PLAN

| LEGEND | |
|--------|---|
| ACC-D | DUCTED AIR-CONDITIONER. Condenser to manufacturers specifications |
| BINS | BIN LOCATION |
| CL-WM | WALL MOUNTED CLOTHES LINE |
| DP | DOWNPIPE |
| DPS | DOWNPIPE WITH SPREADER. To lower roof |
| Exp-a | EXPOSED AGGREGATE CONCRETE |
| GM | GAS METER |
| HWS | HOT WATER SYSTEM |
| LBOX | LETTERBOX - To suit house facade |
| TAP | 12mm HOSE COCK - EXTERNAL |
| Tfd | TIMBER DECKING FLOOR FINISH |

REAL PROPERTY DESCRIPTION

EXAMPLE STREET
BRISBANE
LOT 1
COUNCIL: BRISBANE CITY
SITE AREA: 428 m²
SITE COVERAGE: 48.5 %

GENERAL NOTES

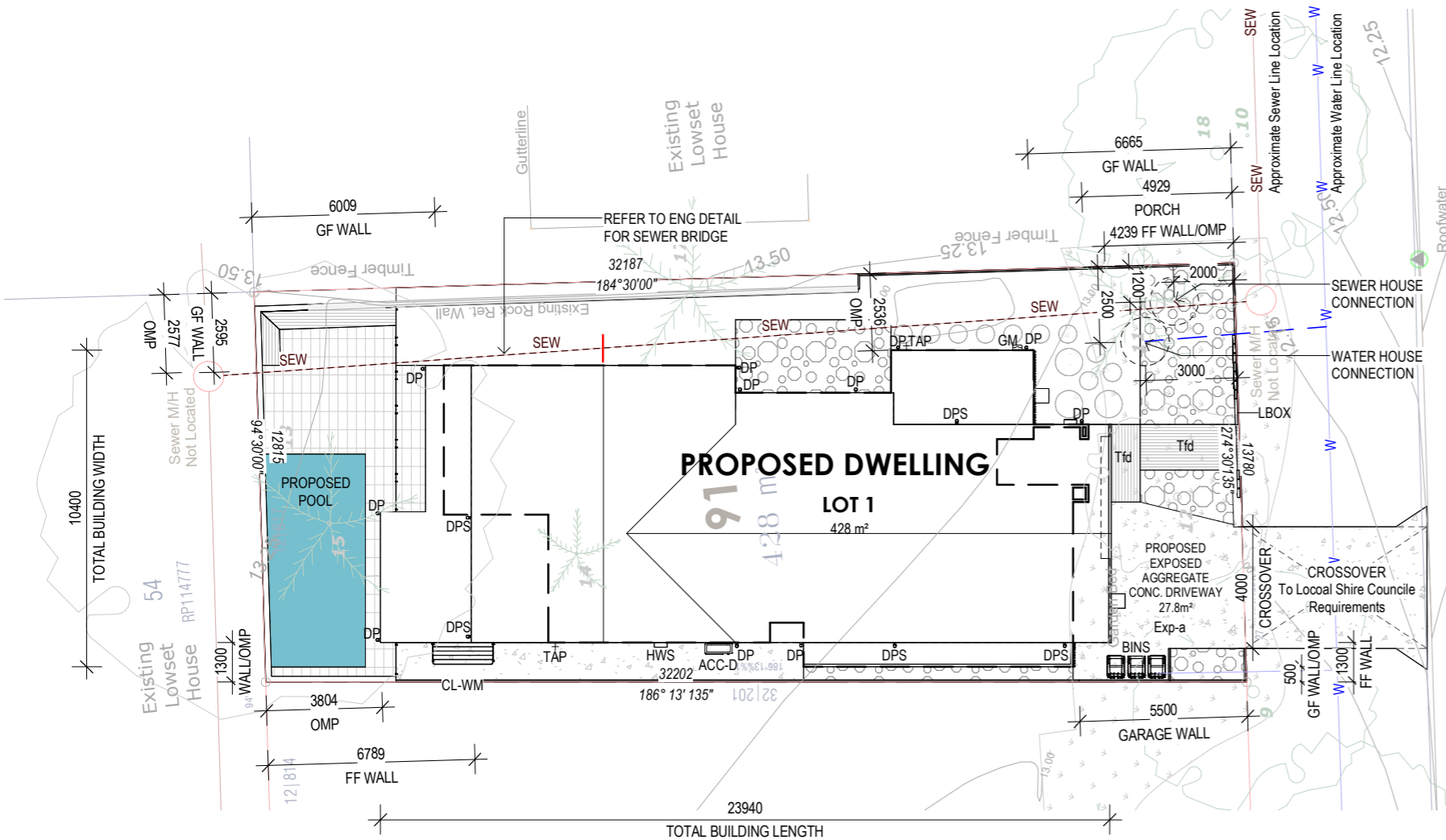
/ SITEWORKS HAS BEEN BASED ON CONTOUR INFORMATION AVAILABLE AT TIME OF SURVEY. NO ALLOWANCE HAS BEEN MADE FOR CHANGE IN LEVELS DUE TO ACTUAL CONDITIONS ON SITE. DISCREPANCIES WITH THE PLANS SHOULD BE CONFIRMED BY THE BUILDER PRIOR TO COMMENCING SITEWORKS
/ CONTOURS AND LEVELS SHOWN ARE PROVIDED BY A LICENSED SURVEYOR.
/ ALL SURVEY PEGS ARE TO BE LOCATED PRIOR TO EARTHWORKS.
/ SURFACE WATER TO BE DRAINED AWAY FROM DWELLING. 1:20 MIN. FALL.
/ UNLESS NOTED OTHERWISE, REMOVAL OF EXISTING TREES, ON SITE DRAINAGE REQUIREMENTS, AND CONSTRUCTION OF RETAINING WALLS, ARE TO BE PROVIDED BY OWNER.
/ BUILDING PLATFORM APPROX. 1500 FROM BUILDING
/ MAXIMUM BATTERS ARE TO BE: - CUT 1:2 - FILL 1:3
/ PAD LEVEL NOTED ON SITE CAN HAVE A TOLERANCE OF UP TO 100MM.
/ BUILDER TAKES NO RESPONSIBILITY FOR RETAINING OR DRAINAGE REQUIREMENTS CAUSED BY CONDITIONS FROM ADJOINING PROPERTIES.
/ DRIVEWAY CONSTRUCTION TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS.
/ THE LOCATIONS OF ALL STORMWATER LINES AND FIELD GULLIES (FG) AS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY AND ARE SUBJECT TO CHANGE ON SITE AT THE DISCRETION OF THE BUILDER.

NOTE: ALL DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION

NOTE: EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO CONSTRUCTION

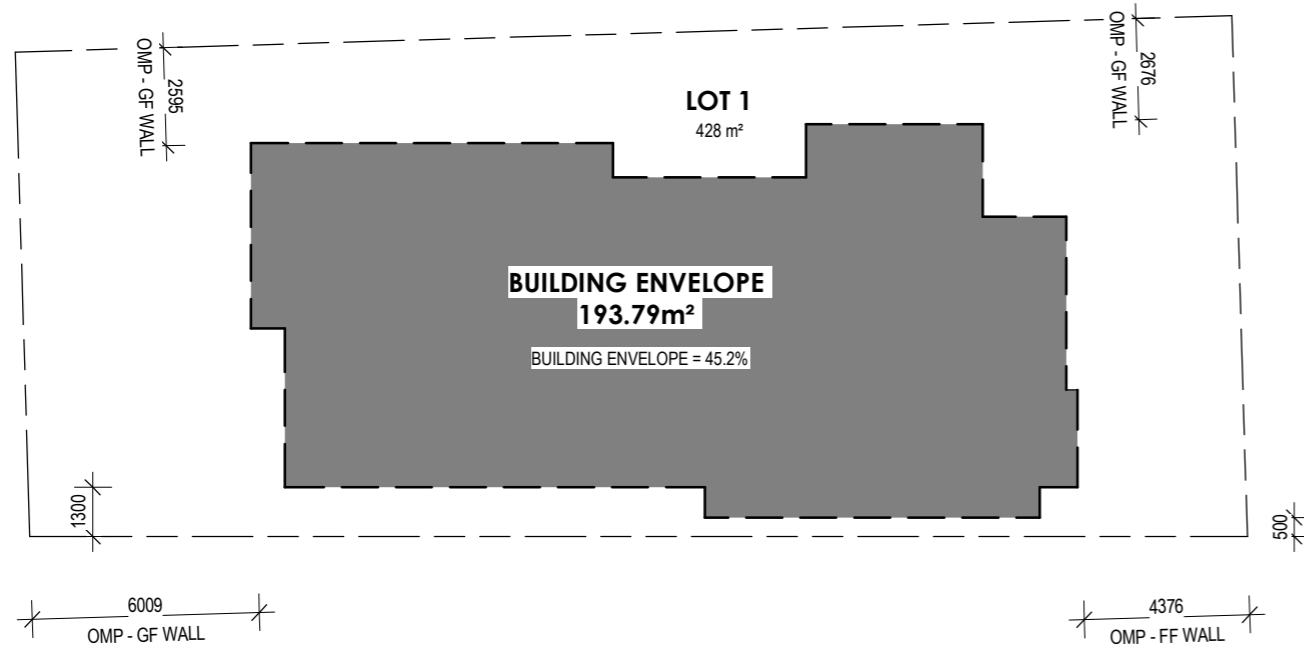
AREA SCHEDULE

| | |
|--------------|----------------------|
| GROUND FLOOR | 130.5 m ² |
| GARAGE | 39.7 m ² |
| ALFRESCO | 21.5 m ² |
| PORTICO | 5.6 m ² |
| FIRST FLOOR | 155.2 m ² |
| STAIR VOID | 16.0 m ² |
| AREA TOTAL | 368.5 m ² |



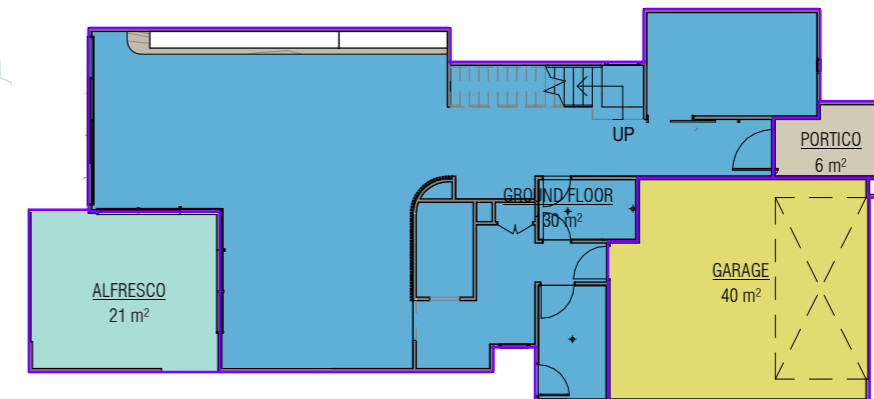
3 1.01 - SITE PLAN

1:200



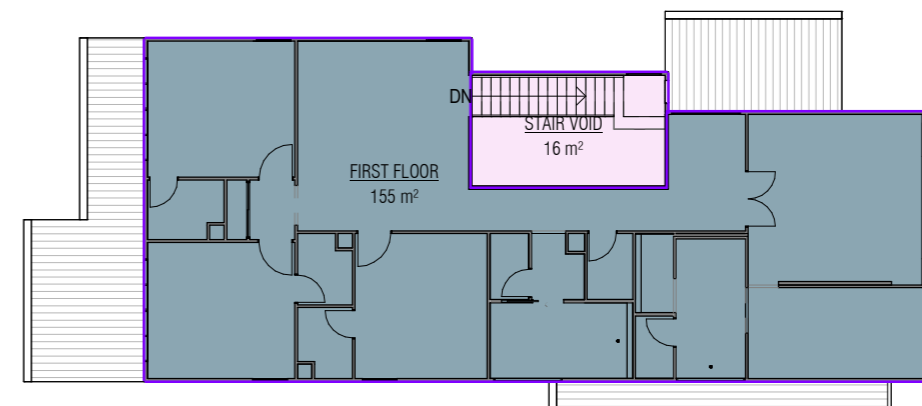
4 1.01 - BUILDING ENVELOPE PLAN

1:200



2 AREA PLAN - GROUND FLOOR

1:200



1 L02 - FIRST FLOOR

1:200

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Project Address

Project Name

NEW DESIGN - TWO STOREY

Client Name

Rev

C

Date

2023

Description

Preliminary Working Drawings

Drawn

JAZZ

Checked

JAZZ

Job Number

Staged Plans

Preliminary Working Drawings

Drawn by

JAZZ

Checked by

JAZZ

Sheet 1.01

Revision C

Date 2023

Scale 1:200



GROUND FLOOR PLAN

3.01 1
2

A
3.11

| AREA SCHEDULE | |
|---------------|----------------------|
| GROUND FLOOR | 130.5 m ² |
| GARAGE | 39.7 m ² |
| ALFRESCO | 21.5 m ² |
| PORTICO | 5.6 m ² |
| FIRST FLOOR | 155.2 m ² |
| STAIR VOID | 16.0 m ² |
| AREA TOTAL | 368.5 m ² |

GENERAL NOTES

- / DIMENSIONS NOTED ARE FRAME TO FRAME
- / THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ENGINEER'S DWGS.
- / FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
- / UPPER FLOOR OPENINGS TO COMPLY WITH ALL RELEVANT BUILDING CODES & REGULATIONS.
- / ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL LOCATIONS TO OWNERS REQUIREMENTS.
- / ALL INTERNAL DOORS TO BE 2340 U.N.O
- / ALL FULL HEIGHT WINDOWS TO HAVE NO TIMBER REVEAL TO SILL
- / SMOKE ALARM ☒ CEILING MOUNTED
- / WATER CLOSET DOORS TO BE REMOVABLE WHEN REQUIRED IN ACCORDANCE WITH PART 3.8.3
- / REFER TO ENGINEERS DRAWINGS AND/OR BCA 3.3.1.8, FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS AS REQUIRED.

LEGEND

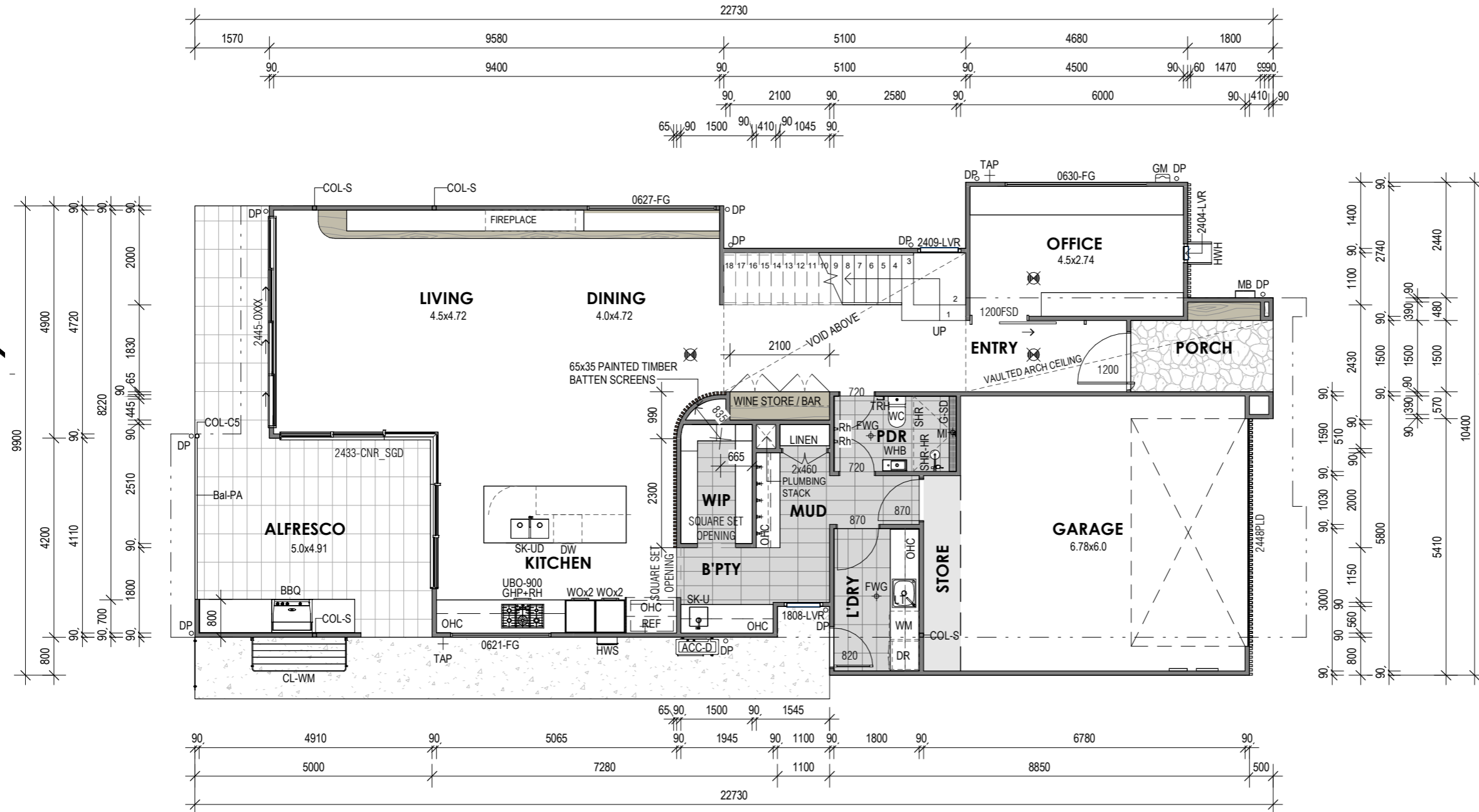
| | |
|---------|---|
| ACC-D | DUCTED AIR-CONDITIONER. Condenser to manufacturers specifications |
| Bal-PA | POWDERCOATED ALUMINIUM BALUSTRADE - (BCA COMPLIANT) |
| BBQ | BARBECUE. PROPRIETARY ITEM |
| CL-WM | WALL MOUNTED CLOTHES LINE |
| COL-C5 | COLUMN - 89mm CHS POST. REFER ENG'S DWG'S |
| COL-S | COLUMN - SHS. REFER TO ENG'S DWG'S |
| DP | DOWNPIPE |
| DR | DRYER SPACE |
| DW | DISHWASHER SPACE |
| FWG | FLOOR WASTE GULLY |
| G-SD | GRATED STRIP DRAIN - CONTRACTOR TO CONFIRM SIZE |
| GHP+RH | GAS HOT PLATE AND RANGEHOOD |
| GM | GAS METER |
| HWH | 'HEKA' METAL WINDOW HOOD |
| HWS | HOT WATER SYSTEM |
| LT | LAUNDRY TUB |
| MB | METER BOX |
| MI | MIXER |
| OHC | CUPBOARD - OVERHEAD |
| REF | REFRIGERATOR SPACE |
| Rh | ROBE HOOK |
| SHR | SHOWER |
| SHR-HR | HAND HELD SHOWER RAIL |
| SK-U | UNDERMOUNTED SINK |
| SK-UD | UNDERMOUNTED SINK - DOUBLE |
| TAP | 12mm HOSE COCK - EXTERNAL |
| TRH | TOILET ROLL HOLDER |
| UBO-900 | OVEN - UNDER BENCH 900mm WIDE |
| WC | WATER CLOSET |
| WHB | WALL HUNG BASIN |
| WM | WASHING MACHINE SPACE |
| WOx2 | DOUBLE OVEN - WALL MOUNTED |

B
3.11

B
3.11

A
3.11

3
3.02



Project Address

Project Name

NEW DESIGN - TWO STOREY

Rev

Date

Description

2023 Preliminary Working Drawings

Drawn Checked

JAZZ

Job Number

Staged Plans

Preliminary Working Drawings

Drawn by Checked by

JAZZ

Sheet 2.01

Revision C

Date

2023

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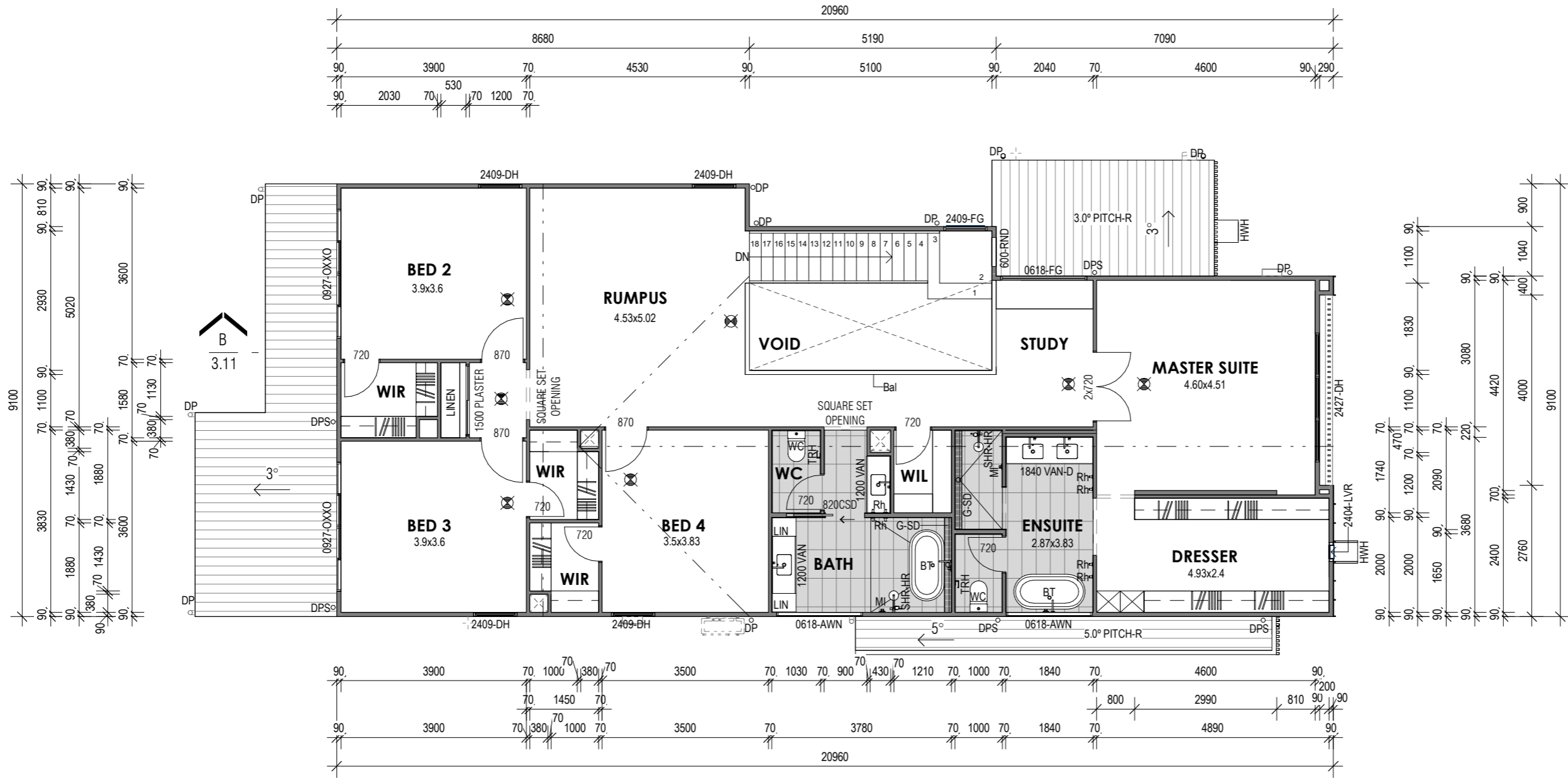


FIRST FLOOR PLAN

3.01
1
2

A
3.11

20960



A
3.11

B
3.11

| AREA SCHEDULE | |
|-------------------|----------------------------|
| GROUND FLOOR | 130.5 m ² |
| GARAGE | 39.7 m ² |
| ALFRESCO | 21.5 m ² |
| PORTICO | 5.6 m ² |
| FIRST FLOOR | 155.2 m ² |
| STAIR VOID | 16.0 m ² |
| AREA TOTAL | 368.5 m² |

| LEGEND | |
|--------------|---|
| 3.0° PITCH-R | RAFTERS TO MANUFACTURERS SPECIFICATIONS |
| 5.0° PITCH-R | RAFTERS TO MANUFACTURERS SPECIFICATIONS |
| 1200 VAN | VANITY UNIT - 1200 LONG |
| 1840 VAN-D | DOUBLE VANITY UNIT - 1840 LONG |
| Bal | BALUSTRADE - (BCA COMPLIANT) |
| BT | BATHTUB |
| DP | DOWNPIPE |
| DPS | DOWNPIPE WITH SPREADER. To lower roof |
| G-SD | GRATED STRIP DRAIN - CONTRACTOR TO CONFIRM SIZE |
| HWH | 'HEKA' METAL WINDOW HOOD |
| MI | MIXER |
| Rh | ROBE HOOK |
| SHR-HR | HAND HELD SHOWER RAIL |
| TRH | TOILET ROLL HOLDER |
| WC | WATER CLOSET |

4
3
3.02



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| | |
|------------------------|-------------------------|
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| | NEW DESIGN - TWO STOREY |
| Client Name | |

| Rev | Date | Description | Drawn | Checked |
|-----|------|------------------------------|-------|---------|
| C | 2023 | Preliminary Working Drawings | JAZZ | JAZZ |

| | |
|---------------------|------------------------------|
| Job Number | |
| Staged Plans | Preliminary Working Drawings |
| Drawn by | JAZZ |
| Checked by | JAZZ |

| | |
|-----------------|---------|
| Sheet | 2.03 |
| Revision | C |
| Date | 2023 |
| Scale | 1 : 100 |



ELEVATIONS

GENERAL NOTES

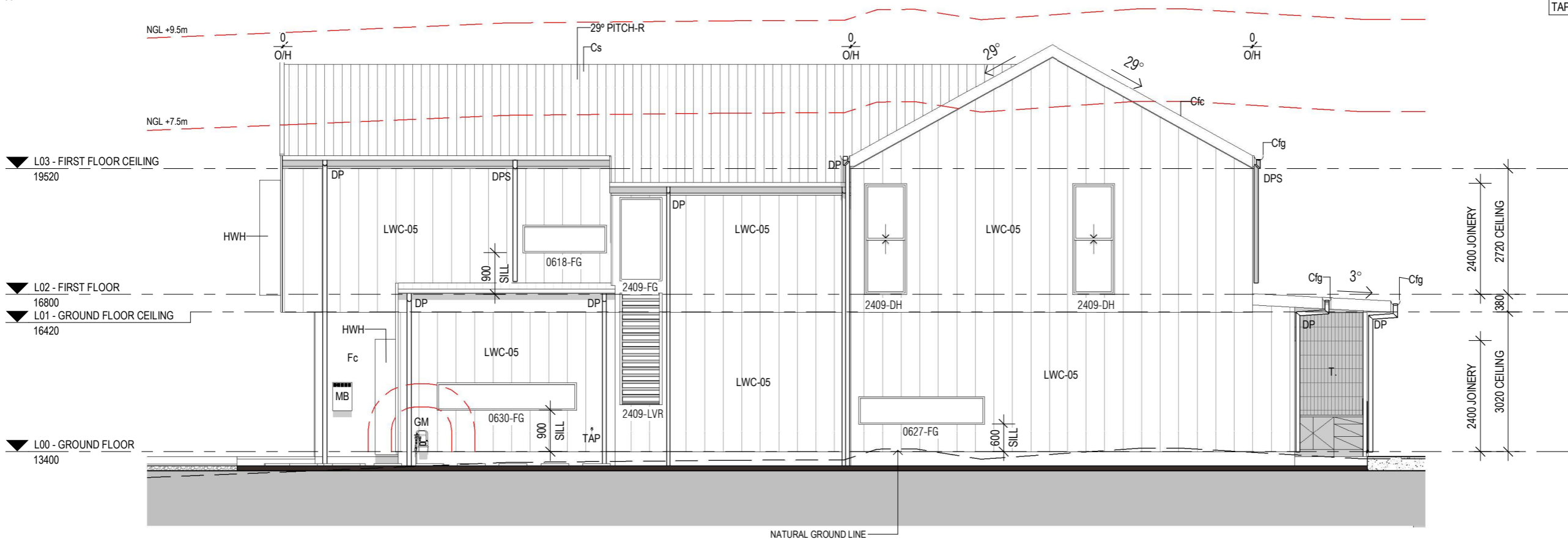
ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTALLATION DETAILS.
 / ONLY A TYPICAL DESCRIPTION OF FINISHES ARE SHOWN. REFER TO BUILDING SPECIFICATION FOR FURTHER INFORMATION.
 / POWDERCOATED ALUMINUM JOINERY THROUGHOUT UNLESS NOTED OTHERWISE.
 / 600mm EAVES UNLESS NOMINATED OTHERWISE
 / REFER TO ENGINEERS DRAWINGS AND/OR BCA 3.3.1.8, FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS AS REQUIRED.
 / FINISHED LEVELS ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED ON SITE.

| LEGEND | |
|---------|---|
| 29° | RAFTERS TO MANUFACTURERS SPECIFICATIONS |
| PITCH-R | |
| Cfc | COLORBOND FASCIA & BARGE CAPPING |
| Cfg | COLORBOND FASCIA & GUTTER |
| Cs | COLORBOND STEEL ROOFING |
| DP | DOWNPIPE |
| DPS | DOWNPIPE WITH SPREADER. To lower roof |
| Fc | Fibre-Cement |
| GM | GAS METER |
| HWH | 'HEKA' METAL WINDOW HOOD |
| LWC-05 | James Hardie 400mm Axon |
| MB | METER BOX |
| T. | Tiles - TO BE CONFIRMED |
| TAP | 12mm HOSE COCK - EXTERNAL |



1 3.01 - WEST ELEVATION

1 : 100



2 3.02 - NORTH ELEVATION

1 : 100

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NEW DESIGN - TWO STOREY

Client Name

Rev C Date 2023 Description Preliminary Working Drawings

Drawn Checked JAZZ

Job Number

Staged Plans Preliminary Working Drawings

Drawn by Checked by JAZZ

Sheet 3.01

Revision C

Date 2023

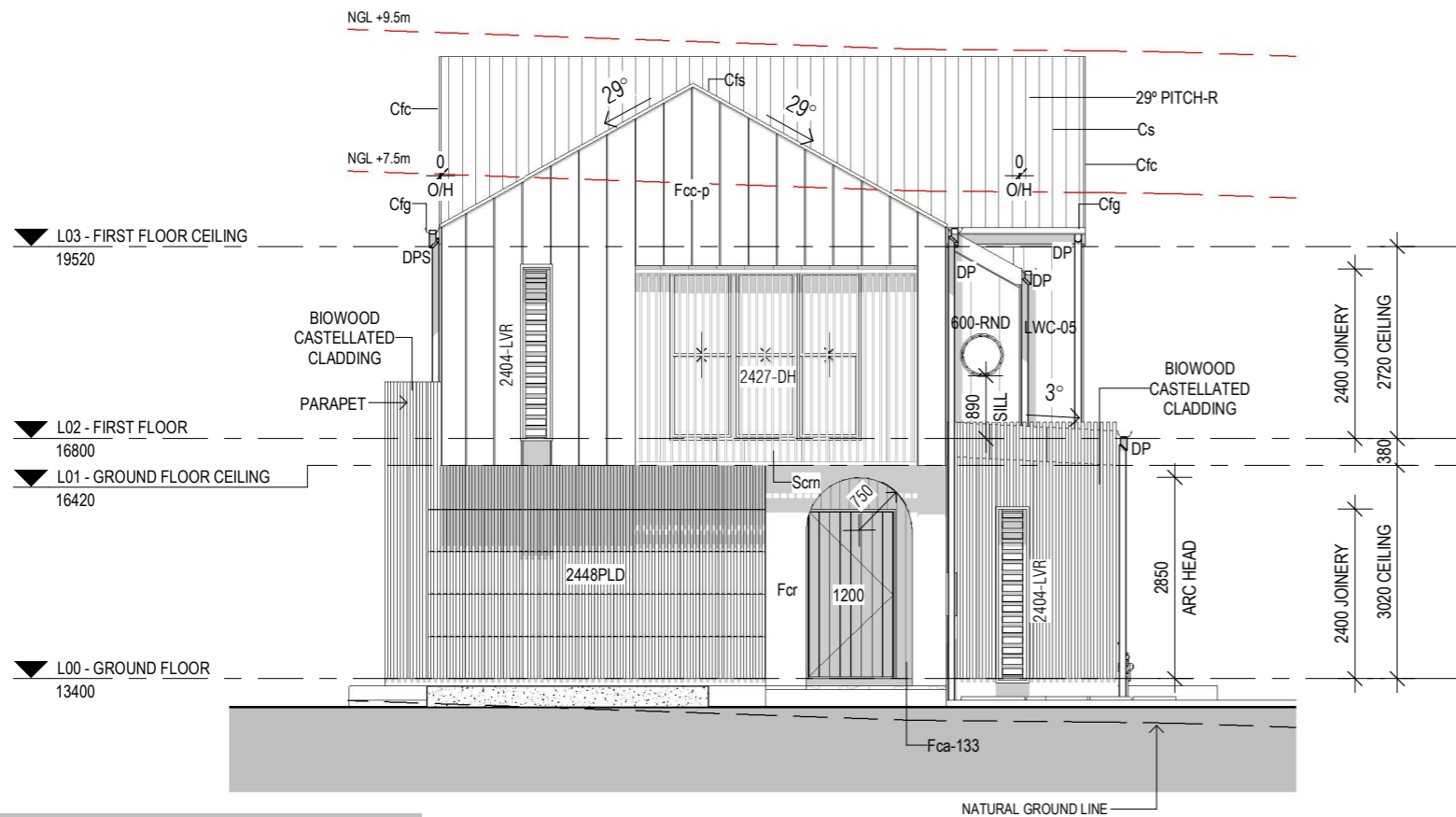
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ELEVATIONS

GENERAL NOTES

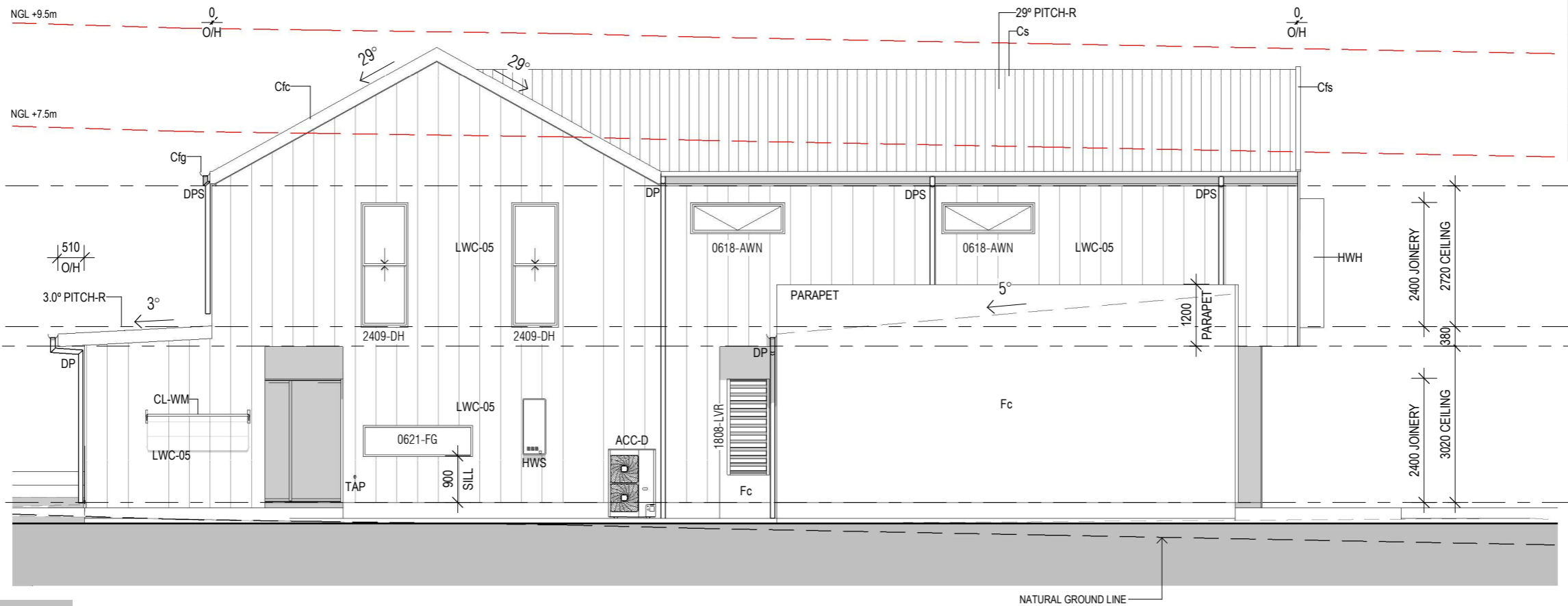
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 / ONLY A TYPICAL DESCRIPTION OF FINISHES ARE SHOWN. REFER TO BUILDING SPECIFICATION FOR FURTHER INFORMATION.
 / POWDERCOATED ALUMINUM JOINERY THROUGHOUT UNLESS NOTED OTHERWISE.
 / 600mm EAVES UNLESS NOMINATED OTHERWISE.
 / REFER TO ENGINEERS DRAWINGS AND/OR BCA 3.3.1.8, FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS AS REQUIRED.
 / FINISHED LEVELS ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED ON SITE.

| LEGEND | |
|--------------|---|
| 3.0° PITCH-R | RAFTERS TO MANUFACTURERS SPECIFICATIONS |
| 29° PITCH-R | RAFTERS TO MANUFACTURERS SPECIFICATIONS |
| ACC-D | DUCTED AIR-CONDITIONER. Condenser to manufacturers specifications |
| Cfc | COLORBOND FASCIA & BARGE CAPPING |
| Cfg | COLORBOND FASCIA & GUTTER |
| Cfs | |
| CL-WM | WALL MOUNTED CLOTHES LINE |
| Cs | COLORBOND STEEL ROOFING |
| DP | DOWNPIPE |
| DPS | DOWNPIPE WITH SPREADER. To lower roof |
| Fc | Fibre-Cement |
| Fca-133 | Axon 133mm Vertical Cladding |
| Fcc-p | Fibre-Cement, Cover Strips, Paint Finish |
| Fcr | Fibre-Cement, Render Finish |
| HWH | 'HEKA' METAL WINDOW HOOD |
| HWS | HOT WATER SYSTEM |
| LWC-05 | James Hardie 400mm Axon |
| Scrn | SCREEN |
| TAP | 12mm HOSE COCK - EXTERNAL |



3 3.03 - EAST ELEVATION

1 : 100



4 3.04 - SOUTH ELEVATION

1 : 100

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Project Address

Project Name

NEW DESIGN - TWO STOREY

Client Name

Rev C **Date** 2023 **Description** Preliminary Working Drawings

Drawn JAZZ **Checked** JAZZ

Job Number

Staged Plans
 Preliminary Working Drawings

Drawn by JAZZ **Checked by** JAZZ

Sheet 3.02

Revision C

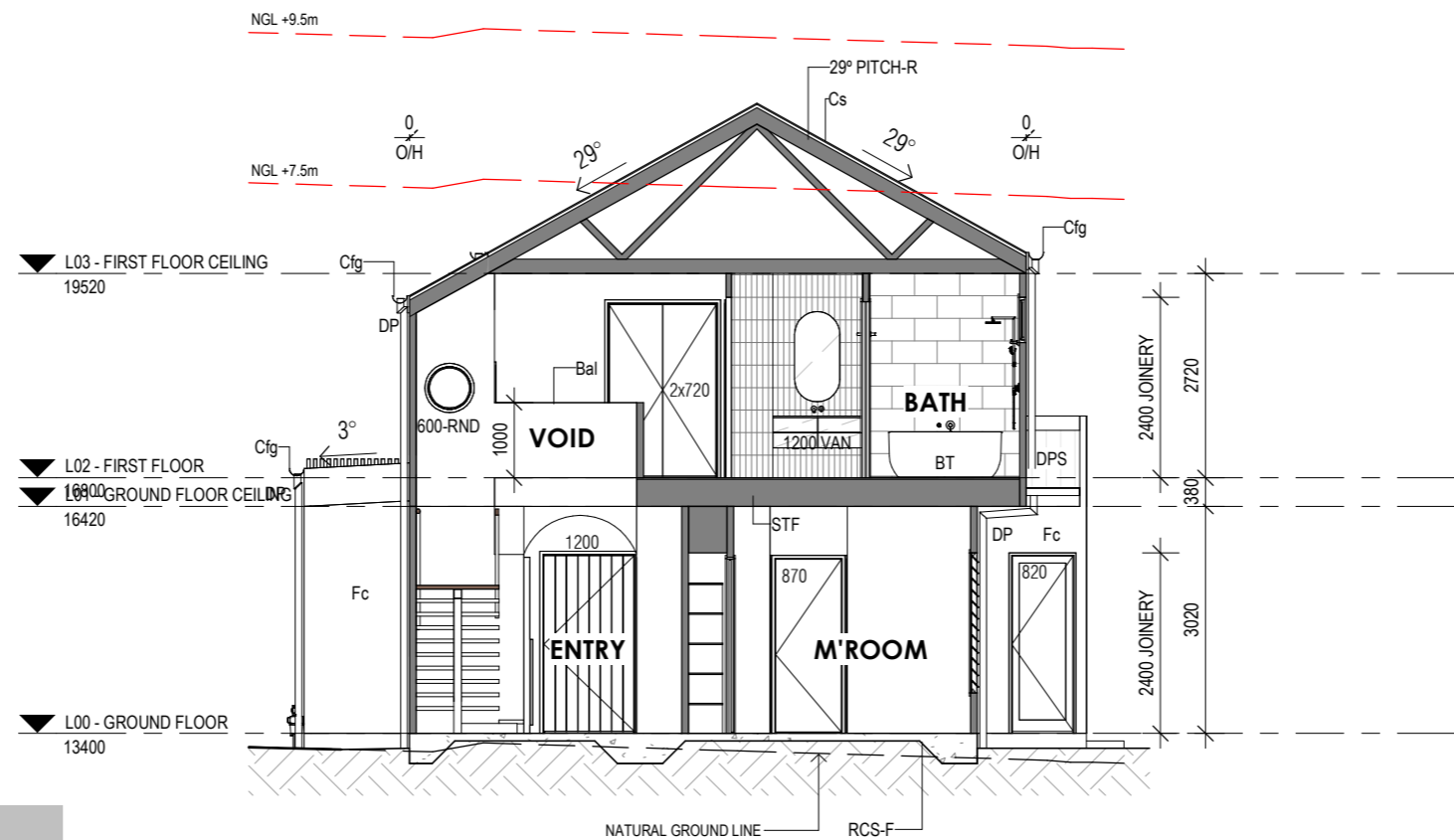
Date 2023

Scale 1 : 100

BUILDING SECTIONS

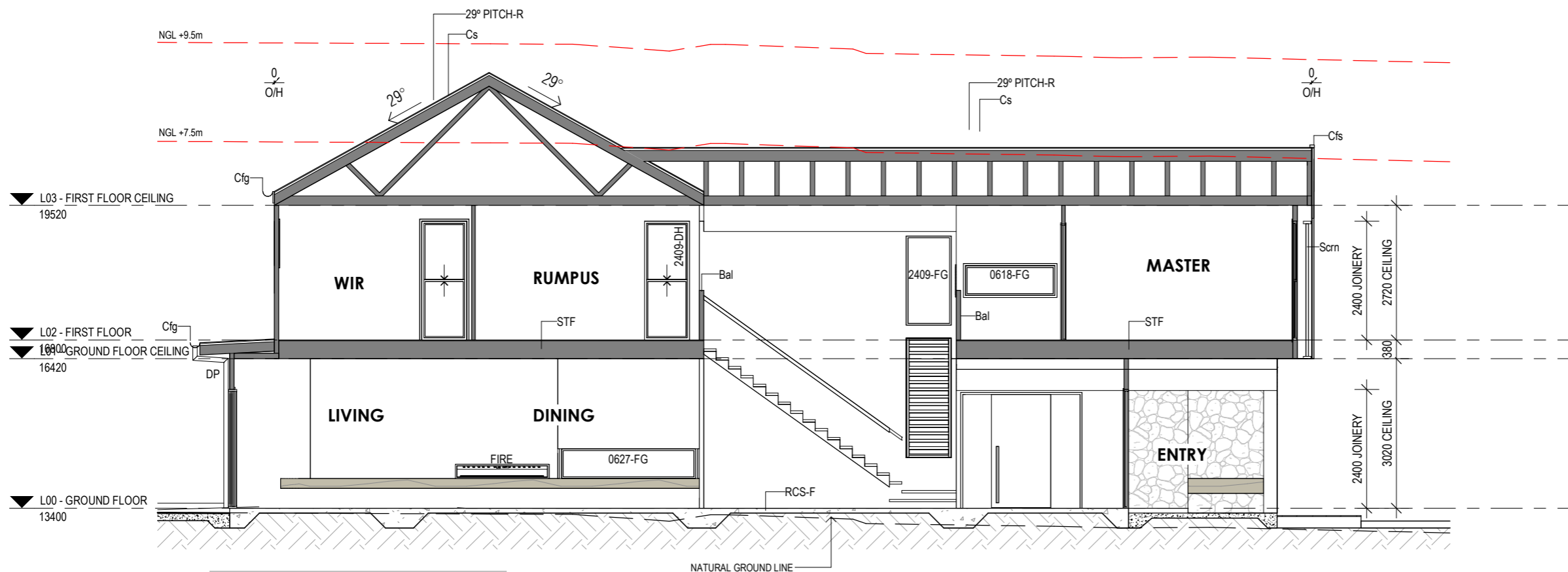
GENERAL NOTES

- / ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTALLATION DETAILS.
- / ONLY A TYPICAL DESCRIPTION OF FINISHES ARE SHOWN. REFER TO BUILDING SPECIFICATION FOR FURTHER INFORMATION.
- / POWDERCOATED ALUMINUM JOINERY THROUGHOUT UNLESS NOTED OTHERWISE.
- / PROVIDE TERMITE BARRIER AS PER AS3660.1-2000
- / INTERNAL AND EXTERNAL TIMBER STUD WALLS TO BE 70mm THICK UNLESS NOTED OTHERWISE AND AT 600mm CTRS.
- / REFER TO ENGINEERS DRAWINGS AND/OR BCA 3.3.1.8, FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS AS REQUIRED.
- / ALL STRUCTURAL DETAILS TO ENGINEER'S SPECIFICATIONS, TAKING PRECEDENCE OVER THESE PLANS.
- / FINISHED LEVELS ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED ON SITE.
- / 10mm PLASTERBOARD INTERNAL WALL LININGS
- / 10mm PLASTERBOARD CEILING LININGS
- / 6mm VILLABOARD INTERNAL WET AREA WALL LININGS
- / REFER TO ELEVATIONS FOR EXTENT OF EXTERNAL FINISHES
- / 450mm EAVES UNLESS NOMINATED OTHERWISE



A 3.11 - SECTION A-A

1:100



B 3.11 - SECTION B-B

1:100

| LEGEND | |
|-------------|---|
| 29° PITCH-R | RAFTERS TO MANUFACTURERS SPECIFICATIONS |
| 1200 VAN | VANITY UNIT - 1200 LONG |
| Bal | BALUSTRADE - (BCA COMPLIANT) |
| BT | BATHTUB |
| Cfg | COLORBOND FASCIA & GUTTER |
| Cfs | COLORBOND STEEL ROOFING |
| DP | DOWNPIPE |
| DPS | DOWNPIPE WITH SPREADER. To lower roof |
| Fc | Fibre-Cement |
| FIRE | SELECTED FIRE PLACE. |
| RCS-F | REINFORCED CONC. SLAB & FOOTING, To Eng's Details |
| Scrn | SCREEN |
| STF | SUSPENDED TIMBER FLOOR, To Eng's Details |

ELECTRICAL NOTES

/ ELECTRICAL CONTRACTOR TO ALLOW FOR CONNECTION OF POWER TO A/C, POOL AND HWS PLANT, TO BE COORDINATED WITH SPECIALIST CONTRACTORS / SUPPLIERS / MANUFACTURERS
 / LOCATION OF FIXTURES AND FITTINGS SHOWN ON DRAWINGS ARE INDICATIVE ONLY.
 FINAL LOCATIONS TO BE CONFIRMED WITH SITE SUPERVISOR ON SITE.
 / ELECTRICAL CONTRACTOR TO CONFIRM ELECTRICAL LOADS FOR EACH APPLIANCE / PLANT AND ALLOW FOR SUITABLE POWER OUTLET
 / ALL ELECTRICAL WIRING & ELECTRICAL INSTALLATIONS ARE TO COMPLY WITH AS/NZS3000:2007 WIRING RULES
 / AIR CONDITIONING UNITS ARE TO MEET THE RELEVANT MEPS OF AS/NZS3823.1, AS/NZS3823.2 OR AS/NZS3823.3-2011 FOR BOTH SINGLE AND THREE PHASE (<http://www.energyrating.gov.au>)
 / ALL SMOKE ALARMS MUST BE PHOTOELECTRIC TECHNOLOGY & TO BE INTERCONNECTED, EITHER WIRED OR WIRELESSLY
 / ALL EXHAUST FANS TO BE EXTERNALLY DUCTED
 / PLANS TO BE ASSESSED TO ACHIEVE A 6 STAR ENERGY RATING
 / ENERGY EFFICIENT LIGHTING TO 80% OF THE FIXED INTERNAL LIGHTS

HEIGHTS OF LIGHT SWITCHES

1100mm ABOVE FFL

HEIGHTS OF POWER OUTLETS

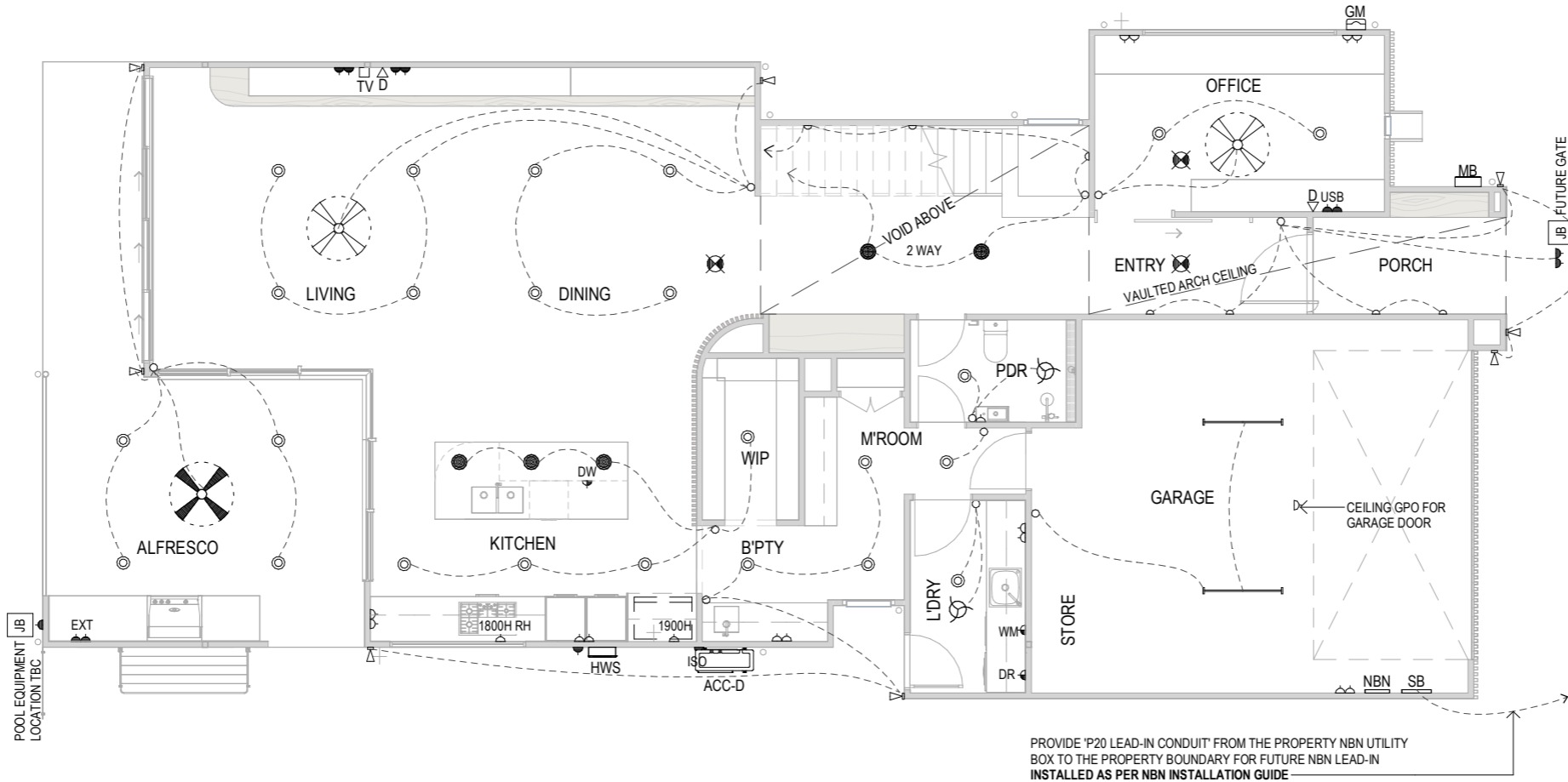
| | |
|----------------|------------------|
| GENERAL | 200mm ABOVE FFL |
| EXTERNAL | 1000mm ABOVE FFL |
| KITCHEN | 1100mm ABOVE FFL |
| FRIDGE | 1900mm ABOVE FFL |
| BATH / ENSUITE | 1100mm ABOVE FFL |
| LAUNDRY | 1100mm ABOVE FFL |

Smoke Detector Schedule

| | |
|-----------------------------|---|
| Electrical - Smoke Detector | 3 |
|-----------------------------|---|

ELECTRICAL & LIGHTING SCHEDULE

| | |
|--|----|
| DGPO USB | 3 |
| Electrical - Ceiling Fan | 2 |
| Electrical - Ceiling Fan - External Grade | 1 |
| Electrical - Data Point | 2 |
| Electrical - Exhaust Fan | 2 |
| Electrical - GPO Double 1100h | 7 |
| Electrical - GPO Double External Grade 1000h | 2 |
| Electrical - GPO Single 525h | 3 |
| Electrical - GPO Single Custom Height | 4 |
| Electrical - GPO Single External Grade 1000h | 3 |
| Electrical - Light - LED Downlight | 24 |
| Electrical - Light - Recessed Wall 300h | 7 |
| Electrical - Light - Single Fluro - 1200L | 2 |
| Electrical - Light - Wall External | 8 |
| Electrical - Light - Pendant | 3 |
| Electrical - Switch - 2 Way | 11 |
| Electrical - TV Point | 1 |



PROVIDE 'P20 LEAD-IN CONDUIT' FROM THE PROPERTY NBN UTILITY BOX TO THE PROPERTY BOUNDARY FOR FUTURE NBN LEAD-IN INSTALLED AS PER NBN INSTALLATION GUIDE

GROUND FLOOR ELECTRICAL

ELECTRICAL LEGEND

| | |
|--------------------------------------|--|
| CEILING FAN | |
| CEILING FAN WITH LIGHT | |
| CEILING FAN EXT. GRADE | |
| EXHAUST FAN | |
| SINGLE GPO 525 HIGH | |
| SINGLE GPO CUSTOM HEIGHT | |
| 20amp ISOLATION POINT | |
| DOUBLE GPO 200 HIGH | |
| DOUBLE GPO 1100 HIGH | |
| SINGLE GPO EXT. GRADE 1000 HIGH | |
| DOUBLE GPO EXT. GRADE 1000 HIGH | |
| LED DOWNLIGHT | |
| BATTEN HOLDER | |
| WALL LIGHT | |
| 12v EXT. DOUBLE SPOTLIGHT | |
| 12v EXT. WALL LIGHT 1800 HIGH U.N.O. | |
| 240v SINGLE 1200 FLURO | |
| GAS BAYONETTE FOR BBQ | |
| AIR CONDITIONING DIFFUSER OUTLET | |
| AIR CONDITIONING RETURN AIR | |
| AIR CONDITIONING CONTROL PANEL | |
| DATA POINT | |
| TELEPHONE POINT | |
| TV CONNECTION | |
| PAY TV CONNECTION | |
| SMOKE ALARM | |
| PENDANT LIGHT | |

LEGEND

| | |
|-------|---|
| ACC-D | DUCTED AIR-CONDITIONER. Condenser to manufacturers specifications |
| GM | GAS METER |
| HWS | HOT WATER SYSTEM |
| MB | METER BOX |
| NBN | NATIONAL BROADBAND NETWORK BOX |
| SB | INTERNAL SUB-BOARD |

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| | |
|------------------------|-------------------------|
| Project Address | Project Name |
| | NEW DESIGN - TWO STOREY |
| Client Name | |

| | | | | |
|------------|-------------|------------------------------|--------------|----------------|
| Rev | Date | Description | Drawn | Checked |
| C | 2023 | Preliminary Working Drawings | JAZZ | JAZZ |

| | |
|------------------------------|------------------------|
| Job Number | Sheet 4.01 |
| Staged Plans | Revision C |
| Preliminary Working Drawings | Date 2023 |
| Drawn by JAZZ | Checked by JAZZ |
| Scale 1 : 100 | |

ELECTRICAL NOTES

/ ELECTRICAL CONTRACTOR TO ALLOW FOR CONNECTION OF POWER TO A/C, POOL AND HWS PLANT, TO BE COORDINATED WITH SPECIALIST CONTRACTORS / SUPPLIERS / MANUFACTURERS
 / LOCATION OF FIXTURES AND FITTINGS SHOWN ON DRAWINGS ARE INDICATIVE ONLY.
 FINAL LOCATIONS TO BE CONFIRMED WITH SITE SUPERVISOR ON SITE.
 / ELECTRICAL CONTRACTOR TO CONFIRM ELECTRICAL LOADS FOR EACH APPLIANCE / PLANT AND ALLOW FOR SUITABLE POWER OUTLET
 / ALL ELECTRICAL WIRING & ELECTRICAL INSTALLATIONS ARE TO COMPLY WITH AS/NZS3000:2007 WIRING RULES
 / AIR CONDITIONING UNITS ARE TO MEET THE RELEVANT MEPS OF AS/NZS3823.1, AS/NZS3823.2 OR AS/NZS3823.3-2011 FOR BOTH SINGLE AND THREE PHASE (<http://www.energyrating.gov.au>)
 / ALL SMOKE ALARMS MUST BE PHOTOELECTRIC TECHNOLOGY & TO BE INTERCONNECTED, EITHER WIRED OR WIRELESSLY
 / ALL EXHAUST FANS TO BE EXTERNALLY DUCTED
 / PLANS TO BE ASSESSED TO ACHIEVE A 6 STAR ENERGY RATING
 / ENERGY EFFICIENT LIGHTING TO 80% OF THE FIXED INTERNAL LIGHTS

HEIGHTS OF LIGHT SWITCHES

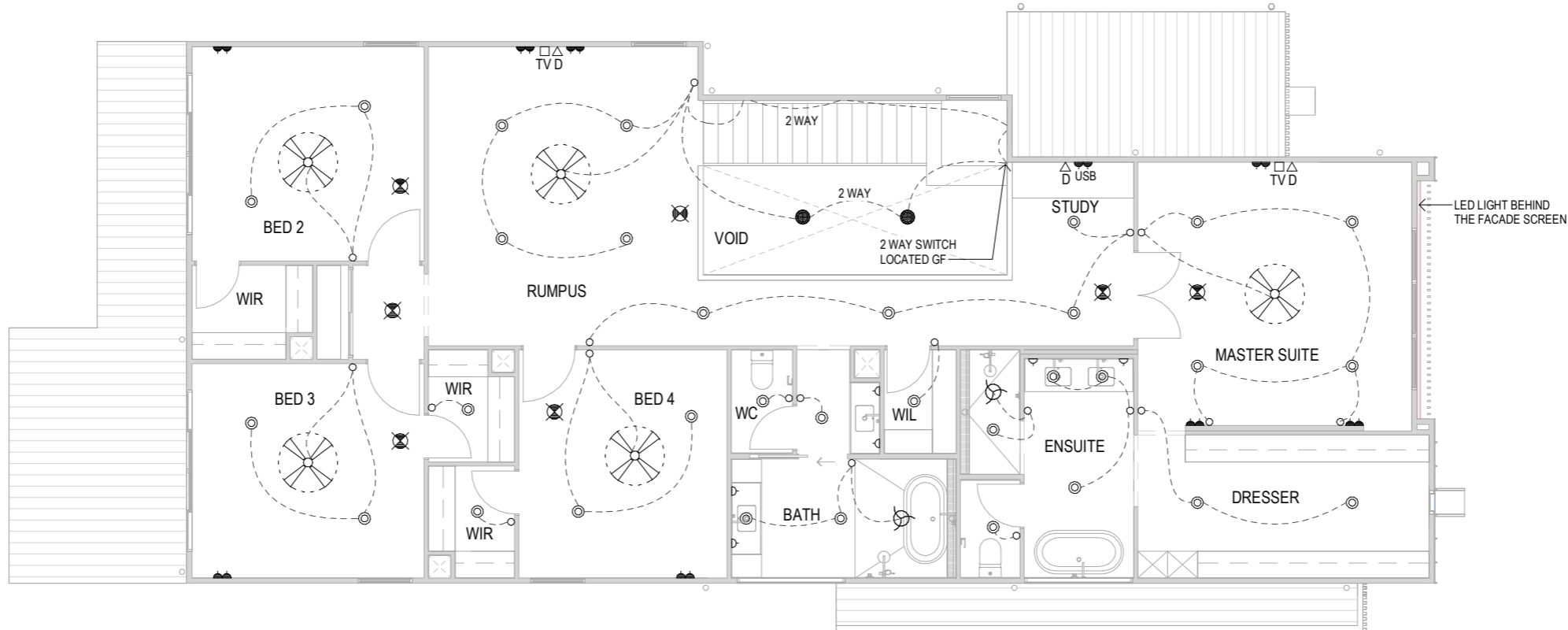
1100mm ABOVE FFL

HEIGHTS OF POWER OUTLETS

| | |
|----------------|------------------|
| GENERAL | 200mm ABOVE FFL |
| EXTERNAL | 1000mm ABOVE FFL |
| KITCHEN | 1100mm ABOVE FFL |
| FRIDGE | 1900mm ABOVE FFL |
| BATH / ENSUITE | 1100mm ABOVE FFL |
| LAUNDRY | 1100mm ABOVE FFL |

| Smoke Detector Schedule | |
|-----------------------------|---|
| Electrical - Smoke Detector | 3 |

| ELECTRICAL & LIGHTING SCHEDULE - FF | |
|---------------------------------------|----|
| DGPO USB | 3 |
| Electrical - Ceiling Fan | 5 |
| Electrical - Data Point | 2 |
| Electrical - Exhaust Fan | 2 |
| Electrical - GPO Double 200h | 6 |
| Electrical - GPO Single Custom Height | 6 |
| Electrical - Light - LED Downlight | 32 |
| Electrical - Light - Pendant | 2 |
| Electrical - Switch - 2 Way | 19 |
| Electrical - TV Point | 2 |



FIRST FLOOR ELECTRICAL

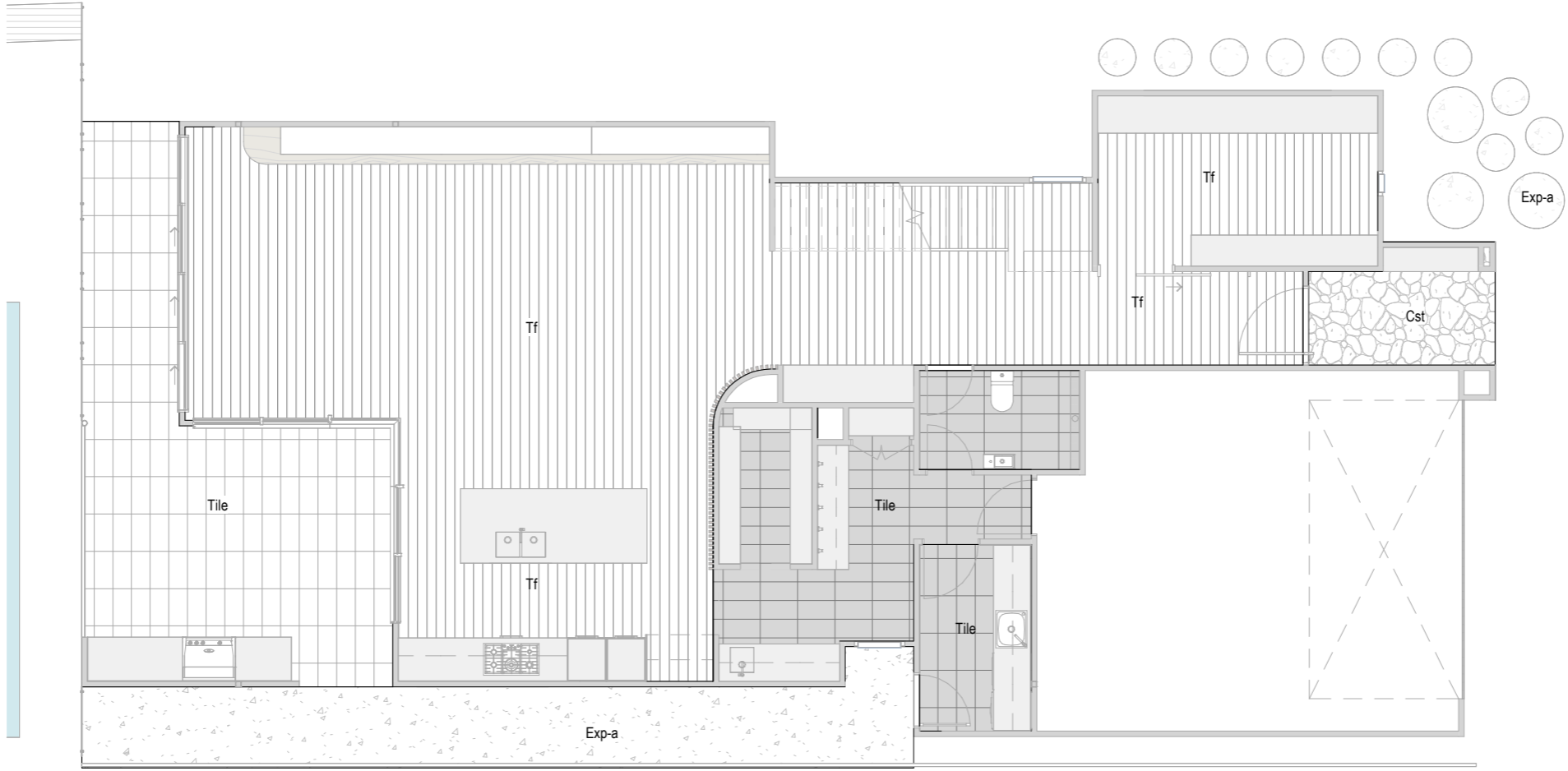
ELECTRICAL LEGEND

| | |
|--------------------------------------|--|
| CEILING FAN | |
| CEILING FAN WITH LIGHT | |
| CEILING FAN EXT. GRADE | |
| EXHAUST FAN | |
| SINGLE GPO 525 HIGH | |
| SINGLE GPO CUSTOM HEIGHT | |
| 20amp ISOLATION POINT | |
| DOUBLE GPO 200 HIGH | |
| DOUBLE GPO 1100 HIGH | |
| SINGLE GPO EXT. GRADE 1000 HIGH | |
| DOUBLE GPO EXT. GRADE 1000 HIGH | |
| LED DOWNLIGHT | |
| BATTEN HOLDER | |
| WALL LIGHT | |
| 12v EXT. DOUBLE SPOTLIGHT | |
| 12v EXT. WALL LIGHT 1800 HIGH U.N.O. | |
| 240v SINGLE 1200 FLURO | |
| GAS BAYONETTE FOR BBQ | |
| AIR CONDITIONING DIFFUSER OUTLET | |
| AIR CONDITIONING RETURN AIR | |
| AIR CONDITIONING CONTROL PANEL | |
| DATA POINT | |
| TELEPHONE POINT | |
| TV CONNECTION | |
| PAY TV CONNECTION | |
| SMOKE ALARM | |
| PENDANT LIGHT | |

GROUND FLOOR FINISHES PLAN

GENERAL NOTES

/ FLOOR COVERINGS SHOWN ARE FOR REPRESENTATION ONLY AND DO NOT DEPICT THE SETOUT OF EACH INDIVIDUAL FINISH.
 / REFER TO COLOUR DOCUMENT FOR ADDITIONAL INFORMATION ON PLACEMENT AND PRODUCT CODES.



1 4.21 - GROUND FLOOR FINISHES PLAN
 1:100

| LEGEND | |
|--------|----------------------------|
| Cst | STAMPED CONCRETE |
| Exp-a | EXPOSED AGGREGATE CONCRETE |
| Tf | TIMBER FLOOR FINISH |
| Tile | FLOOR TILES |

JAZZDESIGNS
building designers

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 admin@jazzdesigns.com.au | www.jazzdesigns.com.au

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| | |
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| Project Address | Project Name NEW DESIGN - TWO STOREY |
| Client Name | |

| Rev | Date | Description | Drawn | Checked |
|-----|------|------------------------------|-------|---------|
| C | 2023 | Preliminary Working Drawings | JAZZ | JAZZ |

| | |
|---------------------|------------------------------|
| Job Number | |
| Staged Plans | Preliminary Working Drawings |
| Drawn by | JAZZ |
| Checked by | JAZZ |

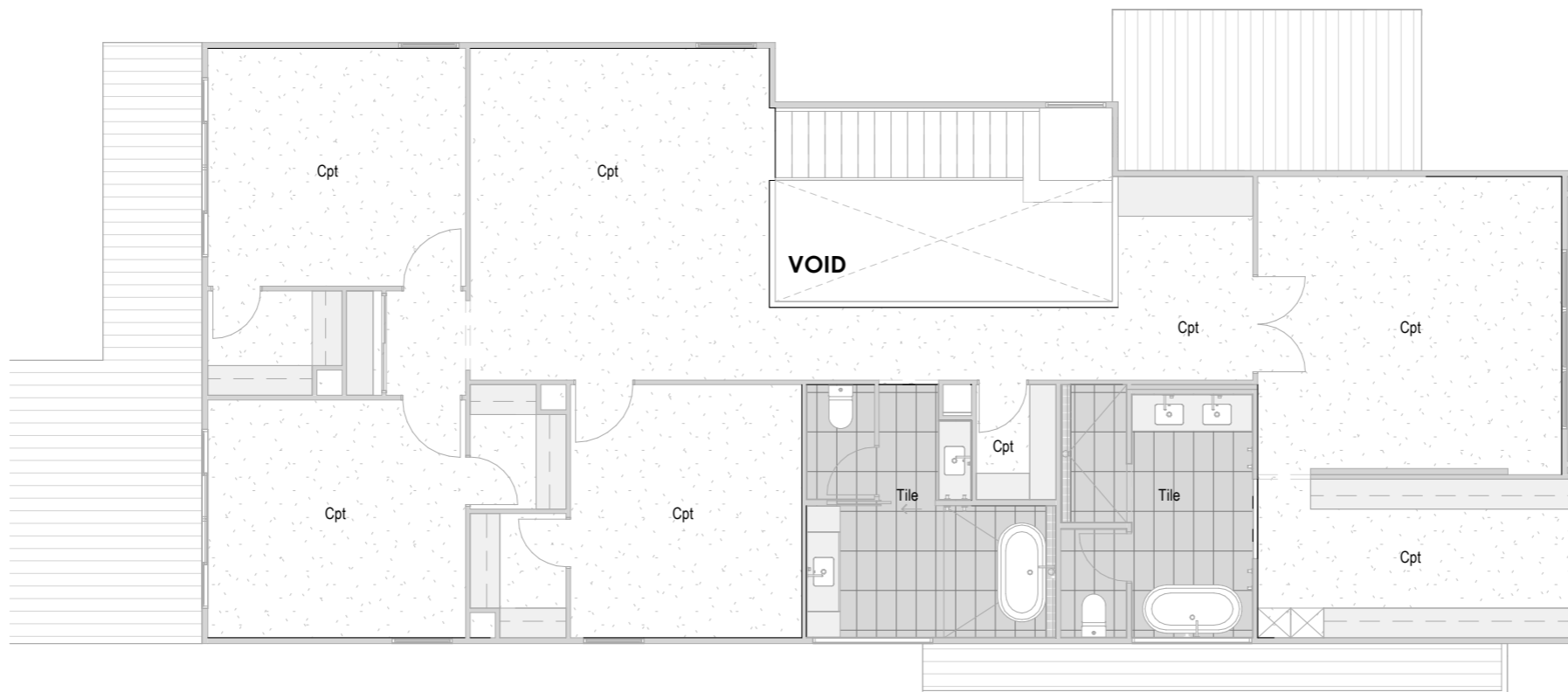
| | |
|-----------------|---------|
| Sheet | 4.21 |
| Revision | C |
| Date | 2023 |
| Scale | 1 : 100 |



FIRST FLOOR FINISHES PLAN

GENERAL NOTES

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/ REFER TO COLOUR DOCUMENT FOR ADDITIONAL INFORMATION ON PLACEMENT AND PRODUCT CODES.



1 4.22 - FIRST FLOOR FINISHES PLAN

1 : 100

LEGEND

| | |
|------|-------------|
| Cpt | CARPET |
| Tile | FLOOR TILES |



INTERNALS

GENERAL NOTES

/ DIMENSIONS NOTED ARE FRAME TO FRAME ONLY AND DO NOT TAKE PLASTERBOARD/ SKIRTING INTO CONSIDERATION. CABINETS ARE TO BE SITE MEASURED AND MAY VARY FROM MEASUREMENTS SHOWN.
/ PROVIDE 10MM MAX. SHADOWLINE BETWEEN CABINETRY AND BENCHTOP U.N.O.

FIXING HEIGHTS

| | |
|--------------------|------------------|
| TOILET ROLL HOLDER | 700mm ABOVE FFL |
| TOWEL RAIL | 1100mm ABOVE FFL |
| PWR PNTS | |
| TO WET AREA | 1100mm ABOVE FFL |
| TO FRIDGE RECESS | 1900mm ABOVE FFL |
| HOSE COCK | |
| TO FRIDGE RECESS | 1900mm ABOVE FFL |
| SHOWER RAIL | 1900mm ABOVE FFL |
| SHOWER RAIL INLET | 1800mm ABOVE FFL |
| SHOWER MIXER | 1200mm ABOVE FFL |

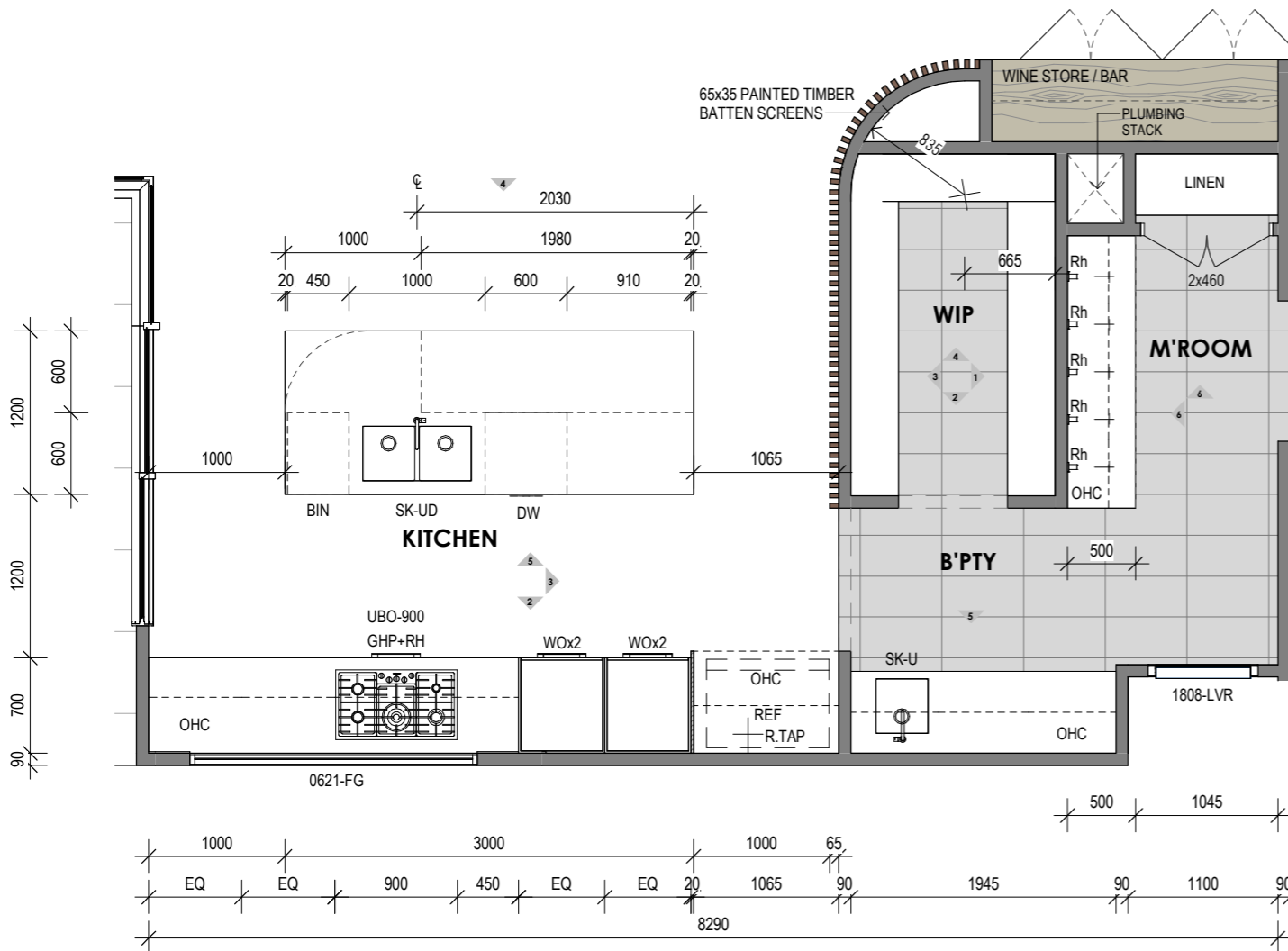
TILING NOTES

/ TILING LAYOUTS SHOWN ARE INDICATIVE ONLY, FINAL SETOUT TO BE DETERMINED ON SITE BY THE TILING CONTRACTOR
/ TILED REVEALS TO WINDOWS WITHIN FULL HEIGHT TILING

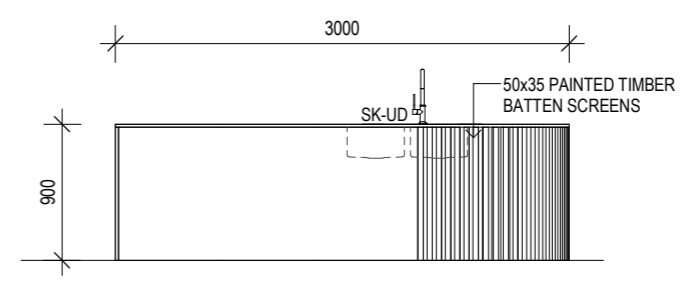
FLOORING

CHECK SPECIFICATION FOR FLOORING MATERIAL ADJACENT TO WET AREAS. BEDDING TO WET AREAS OF SLAB, ONLY REQUIRED WHEN TIMBER FLOORING IS CHOSEN.

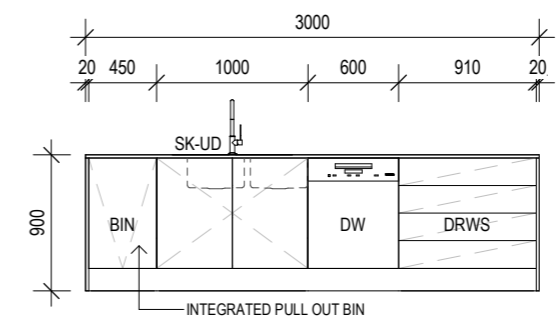
| LEGEND | |
|---------|-------------------------------|
| BIN | RUBBISH BIN CUPBOARD |
| DRWS | DRAWERS |
| DW | DISHWASHER SPACE |
| GHP+RH | GAS HOT PLATE AND RANGEHOOD |
| OHC | CUPBOARD - OVERHEAD |
| R.TAP | REF TAP |
| REF | REFRIGERATOR SPACE |
| Rh | ROBE HOOK |
| SK-U | UNDERMOUNTED SINK |
| SK-UD | UNDERMOUNTED SINK - DOUBLE |
| UBO-900 | OVEN - UNDER BENCH 900mm WIDE |
| WOx2 | DOUBLE OVEN - WALL MOUNTED |



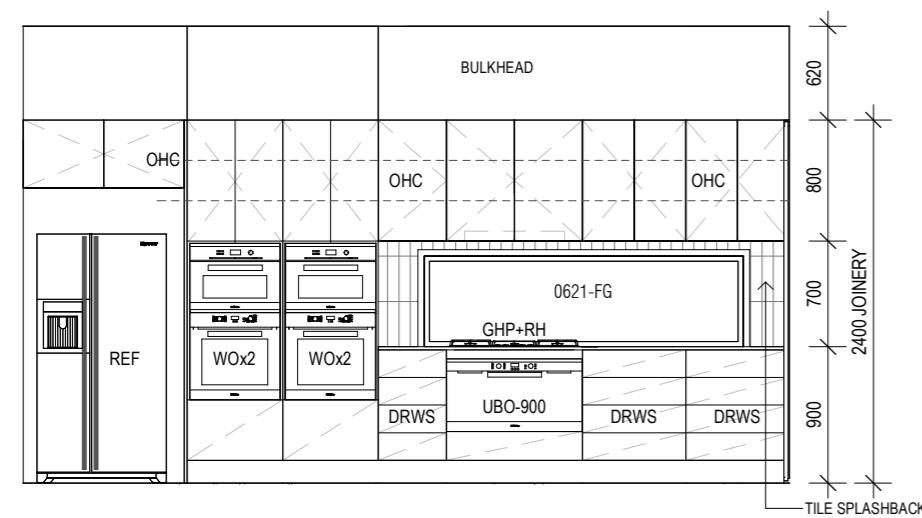
1 KITCHEN PLAN
1:50



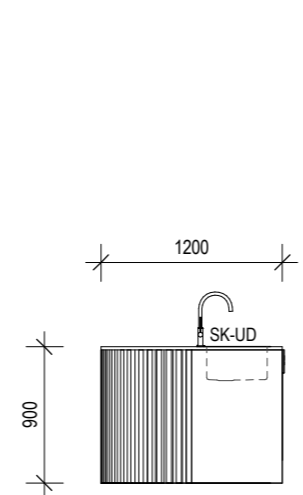
4 Kitchen Island Back Elevation 1 - D
1:50



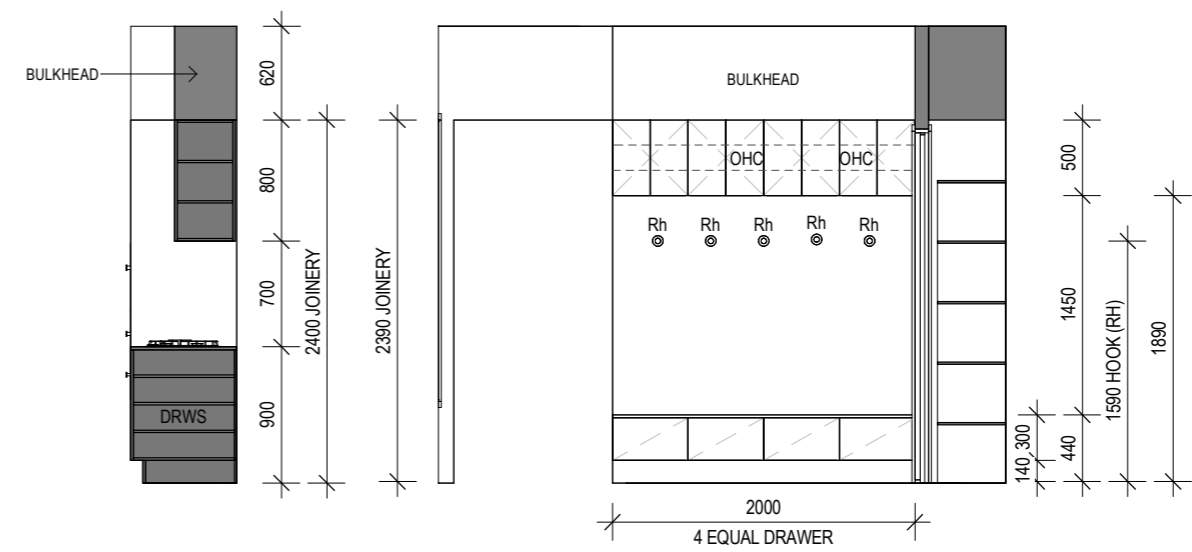
5 Kitchen Island Elevation 1 - C
1:50



2 Kitchen Elevation 1 - A
1:50



3 Kitchen Elevation 1 - D
1:50



6 Mud Room Elevation 1 - A
1:50

INTERNALS

GENERAL NOTES

/ DIMENSIONS NOTED ARE FRAME TO FRAME ONLY AND DO NOT TAKE PLASTERBOARD/ SKIRTING INTO CONSIDERATION. CABINETS ARE TO BE SITE MEASURED AND MAY VARY FROM MEASUREMENTS SHOWN.
/ PROVIDE 10MM MAX. SHADOWLINE BETWEEN CABINETRY AND BENCHTOP U.N.O.

FIXING HEIGHTS

| | |
|--------------------|------------------|
| TOILET ROLL HOLDER | 700mm ABOVE FFL |
| TOWEL RAIL | 1100mm ABOVE FFL |
| PWR PNTS | |
| TO WET AREA | 1100mm ABOVE FFL |
| TO FRIDGE RECESS | 1900mm ABOVE FFL |
| HOSE COCK | |
| TO FRIDGE RECESS | 1900mm ABOVE FFL |
| SHOWER RAIL | 1900mm ABOVE FFL |
| SHOWER RAIL INLET | 1800mm ABOVE FFL |
| SHOWER MIXER | 1200mm ABOVE FFL |

TILING NOTES

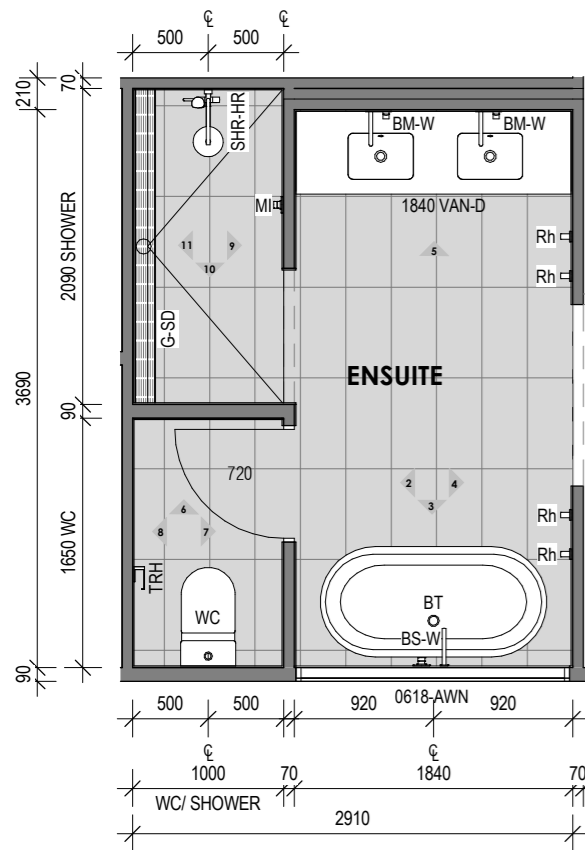
/ TILING LAYOUTS SHOWN ARE INDICATIVE ONLY, FINAL SETOUT TO BE DETERMINED ON SITE BY THE TILING CONTRACTOR
/ TILED REVEALS TO WINDOWS WITHIN FULL HEIGHT TILING

FLOORING

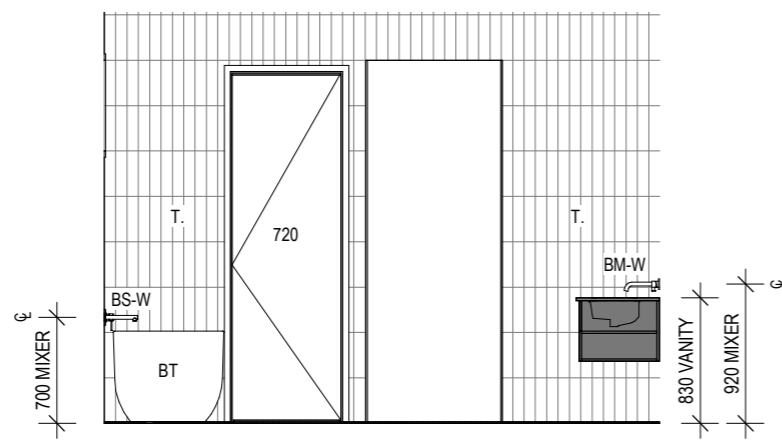
CHECK SPECIFICATION FOR FLOORING MATERIAL ADJACENT TO WET AREAS. BEDDING TO WET AREAS OF SLAB, ONLY REQUIRED WHEN TIMBER FLOORING IS CHOSEN.

LEGEND

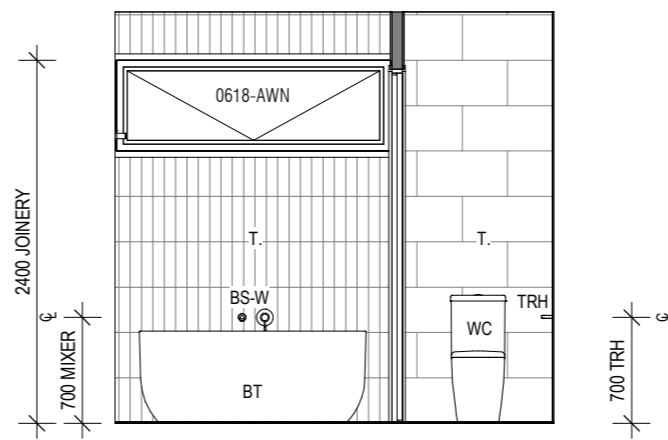
| | |
|------------|---|
| 1840 VAN-D | DOUBLE VANITY UNIT - 1840 LONG |
| BM-W | BASIN SPOUT & MIXER - WALL MOUNTED |
| BS-W | BATH SPOUT & MIXER - WALL MOUNTED |
| BT | BATHTUB |
| G-SD | GRATED STRIP DRAIN - CONTRACTOR TO CONFIRM SIZE |
| MI | MIXER |
| Rh | ROBE HOOK |
| SHR-HR | HAND HELD SHOWER RAIL |
| T. | Tiles - TO BE CONFIRMED |
| TRH | TOILET ROLL HOLDER |
| WC | WATER CLOSET |



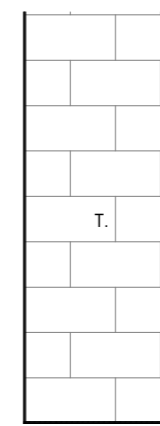
1 ENSUITE PLAN
1:50



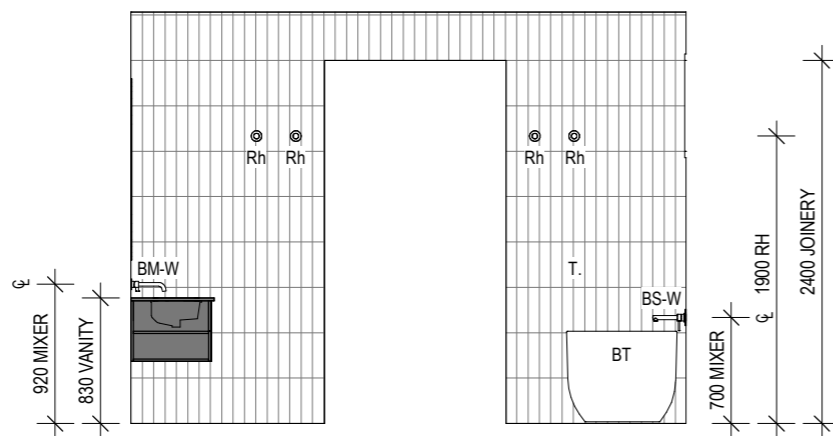
2 Ensuite Elevation 1 - A
1:50



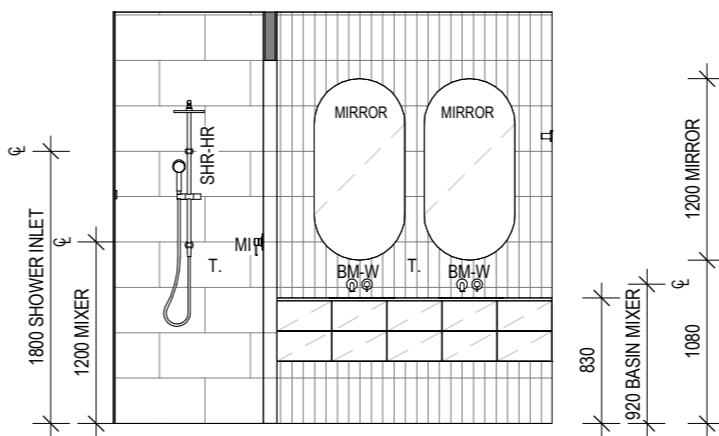
3 Ensuite Elevation 1 - D
1:50



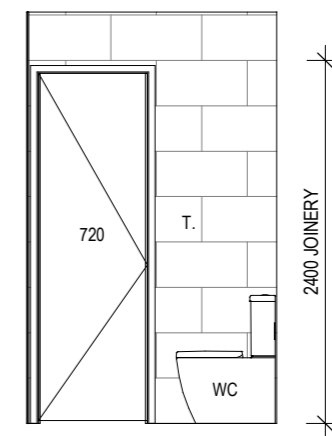
6 Ensuite WC Elevation 1 - B
1:50



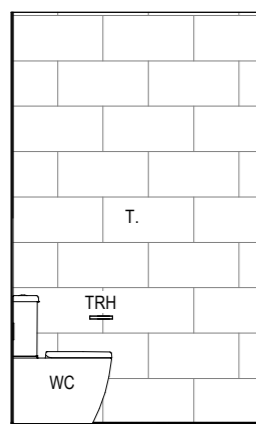
4 Ensuite Elevation 1 - C
1:50



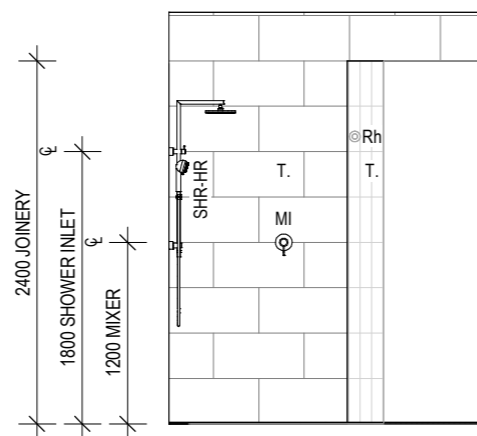
5 Ensuite Elevation 2 - A
1:50



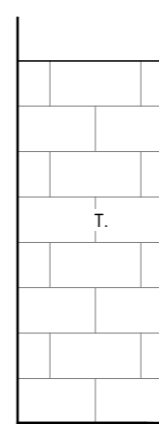
7 Ensuite WC Elevation 1 - C
1:50



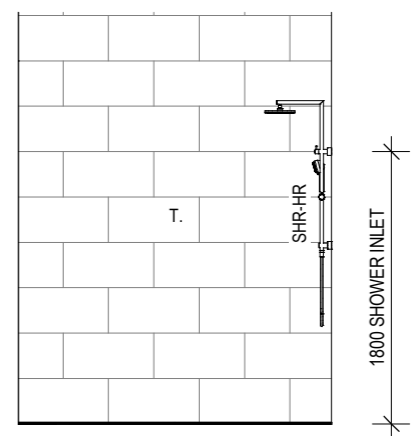
8 Ensuite WC Elevation 1 - A
1:50



9 Shower Elevation 2 - A
1:50



10 Shower Elevation 2 - B
1:50



11 Shower Elevation 3 - C
1:50

INTERNALS

GENERAL NOTES

/ DIMENSIONS NOTED ARE FRAME TO FRAME ONLY AND DO NOT TAKE PLASTERBOARD/ SKIRTING INTO CONSIDERATION. CABINETS ARE TO BE SITE MEASURED AND MAY VARY FROM MEASUREMENTS SHOWN.
/ PROVIDE 10MM MAX. SHADOWLINE BETWEEN CABINETRY AND BENCHTOP U.N.O.

FIXING HEIGHTS

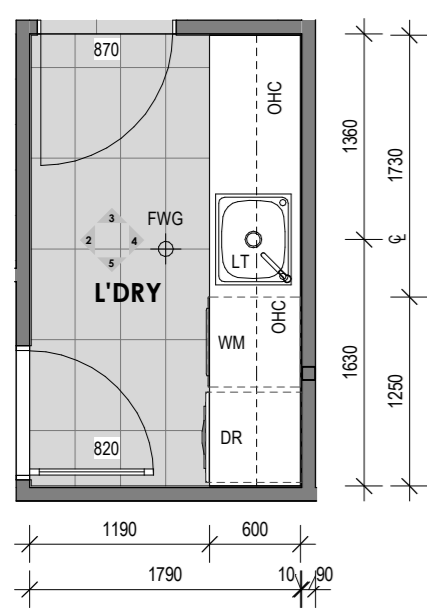
TOILET ROLL HOLDER 700mm ABOVE FFL
TOWEL RAIL 1100mm ABOVE FFL
PWR PNTS
TO WET AREA 1100mm ABOVE FFL
PWR PNTS
TO FRIDGE RECESS 1900mm ABOVE FFL
HOSE COCK
TO FRIDGE RECESS 1900mm ABOVE FFL
SHOWER RAIL 1900mm ABOVE FFL
SHOWER RAIL INLET 1800mm ABOVE FFL
SHOWER MIXER 1200mm ABOVE FFL

TILING NOTES

/ TILING LAYOUTS SHOWN ARE INDICATIVE ONLY, FINAL SETOUT TO BE DETERMINED ON SITE BY THE TILING CONTRACTOR
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FLOORING

CHECK SPECIFICATION FOR FLOORING MATERIAL ADJACENT TO WET AREAS. BEDDING TO WET AREAS OF SLAB, ONLY REQUIRED WHEN TIMBER FLOORING IS CHOSEN.



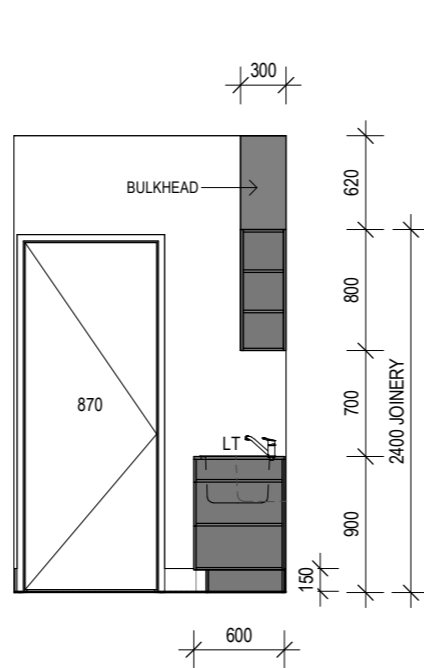
1 L'DRY PLAN

1:50



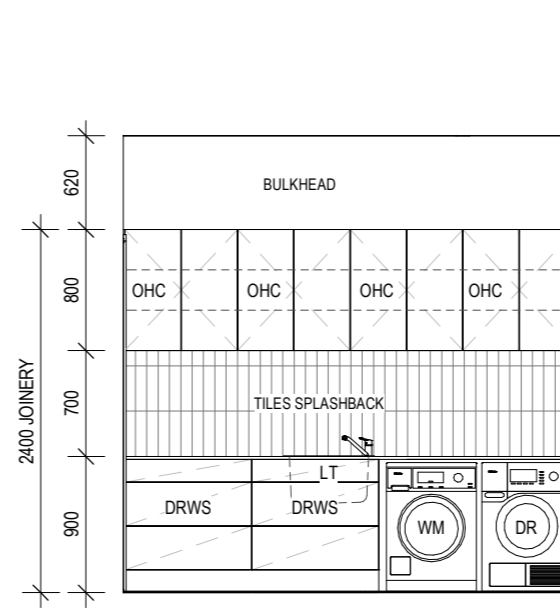
2 L'DRY Elevation 1 - A

1:50



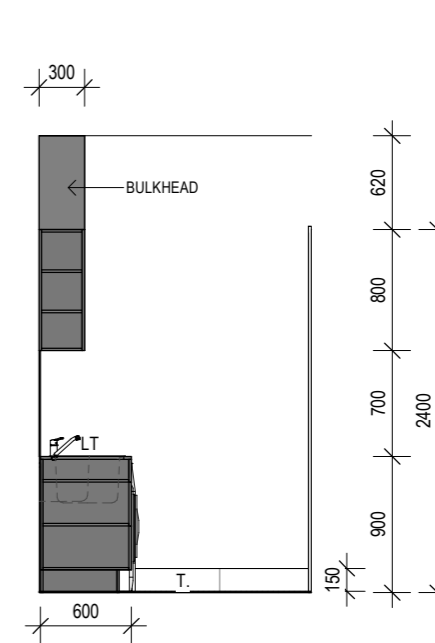
3 L'DRY Elevation 1 - B

1:50



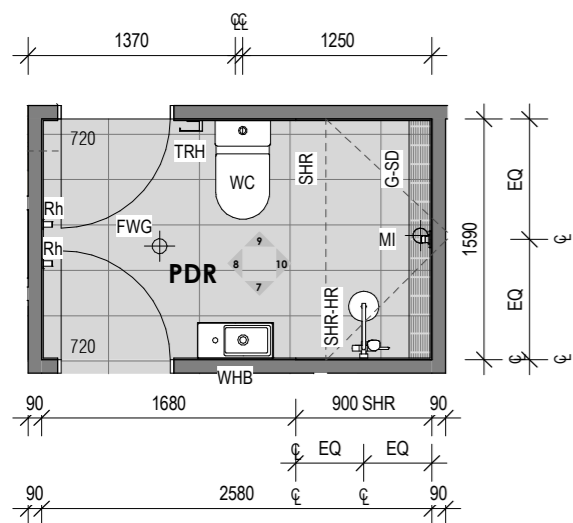
4 L'DRY Elevation 1 - C

1:50



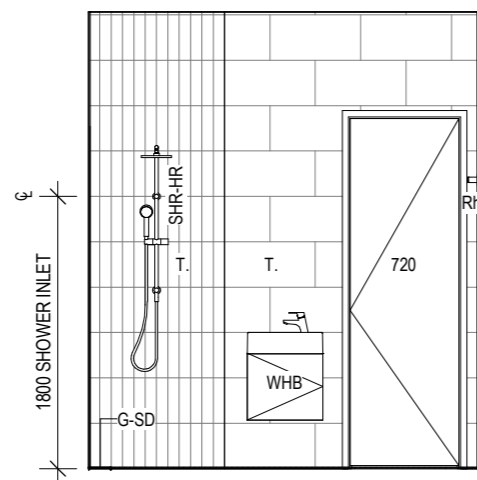
5 L'DRY Elevation 1 - D

1:50



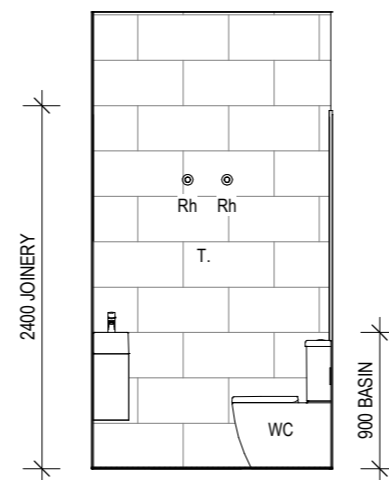
6 PDR PLAN

1:50



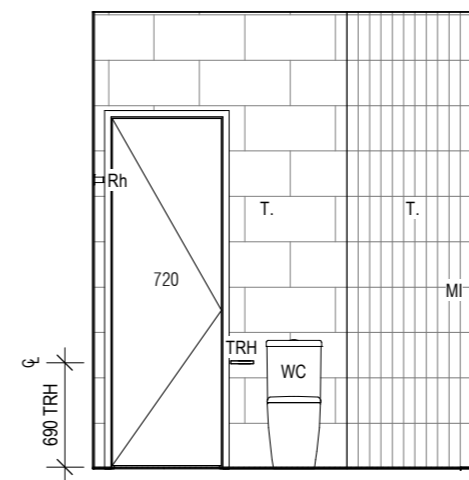
7 PDR Elevation 1 - A

1:50



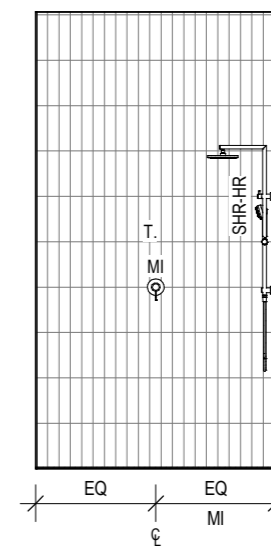
8 PDR Elevation 1 - B

1:50



9 PDR Elevation 1 - C

1:50



10 PDR Elevation 1 - D

1:50

LEGEND

| | |
|--------|---|
| DR | DRYER SPACE |
| DRWS | DRAWERS |
| FWG | FLOOR WASTE GULLY |
| G-SD | GRATED STRIP DRAIN - CONTRACTOR TO CONFIRM SIZE |
| LT | LAUNDRY TUB |
| MI | MIXER |
| OHC | CUPBOARD - OVERHEAD |
| Rh | ROBE HOOK |
| SHR | SHOWER |
| SHR-HR | HAND HELD SHOWER RAIL |
| T. | Tiles - TO BE CONFIRMED |
| TRH | TOILET ROLL HOLDER |
| WC | WATER CLOSET |
| WHB | WALL HUNG BASIN |
| WM | WASHING MACHINE SPACE |